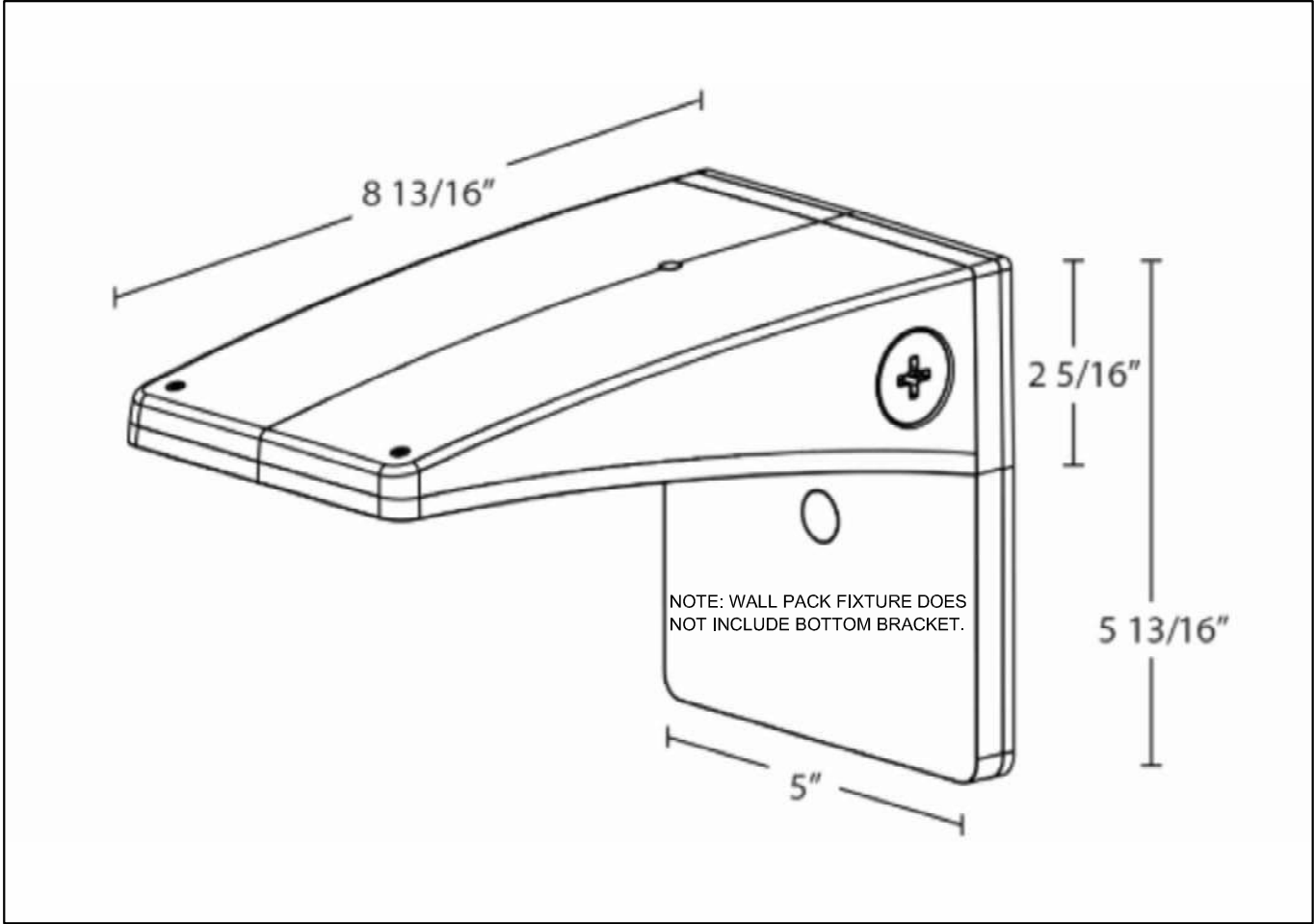
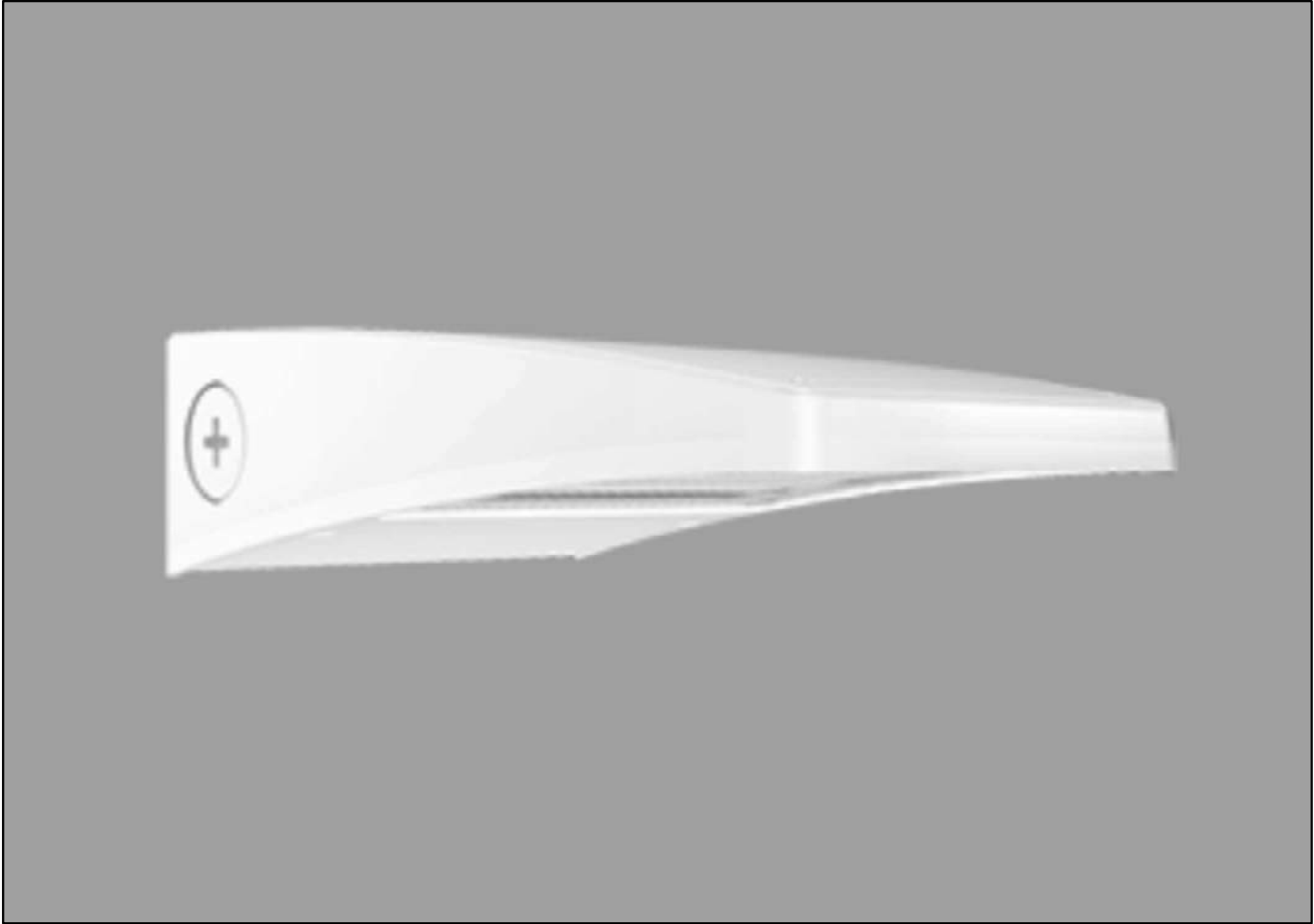
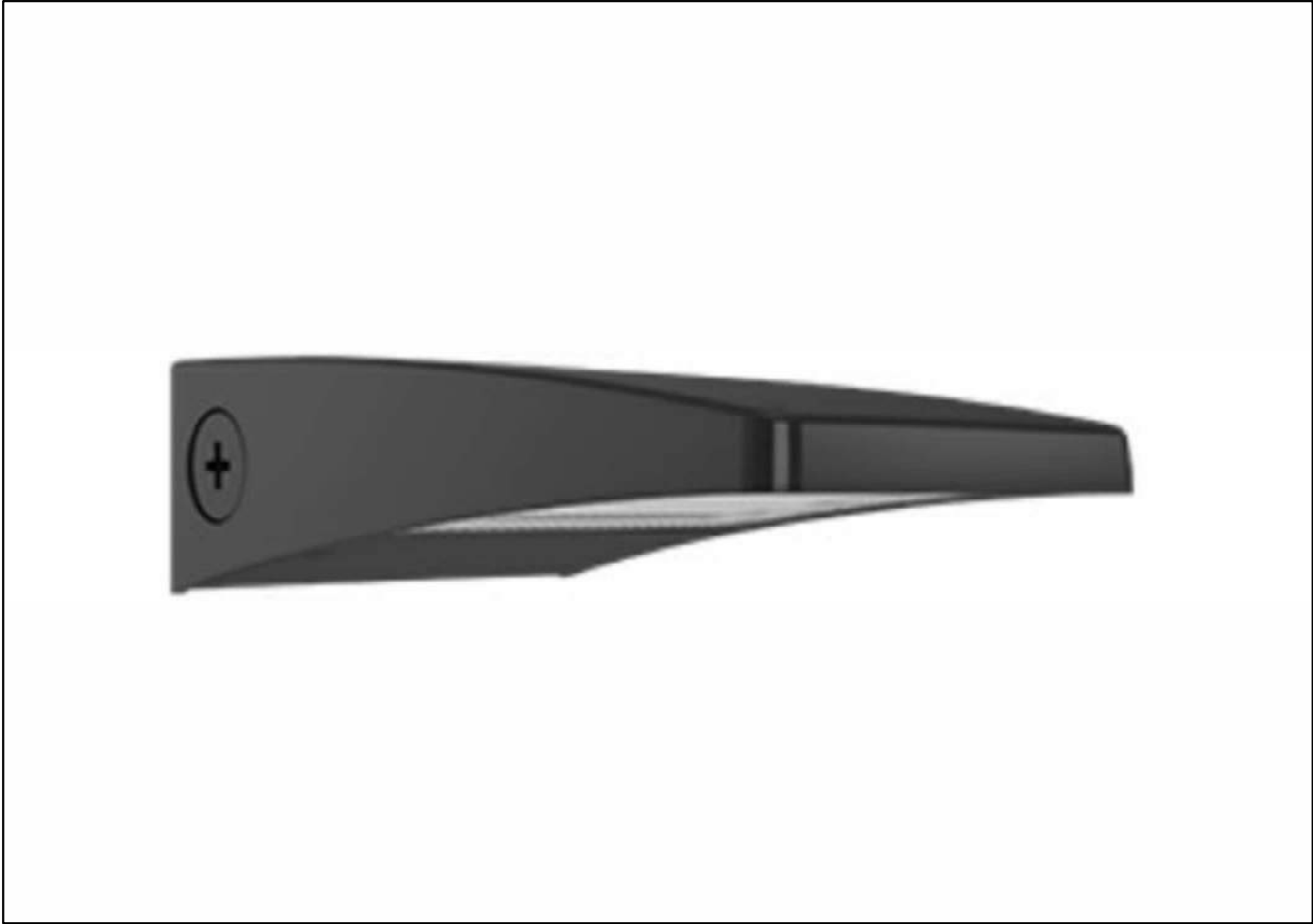
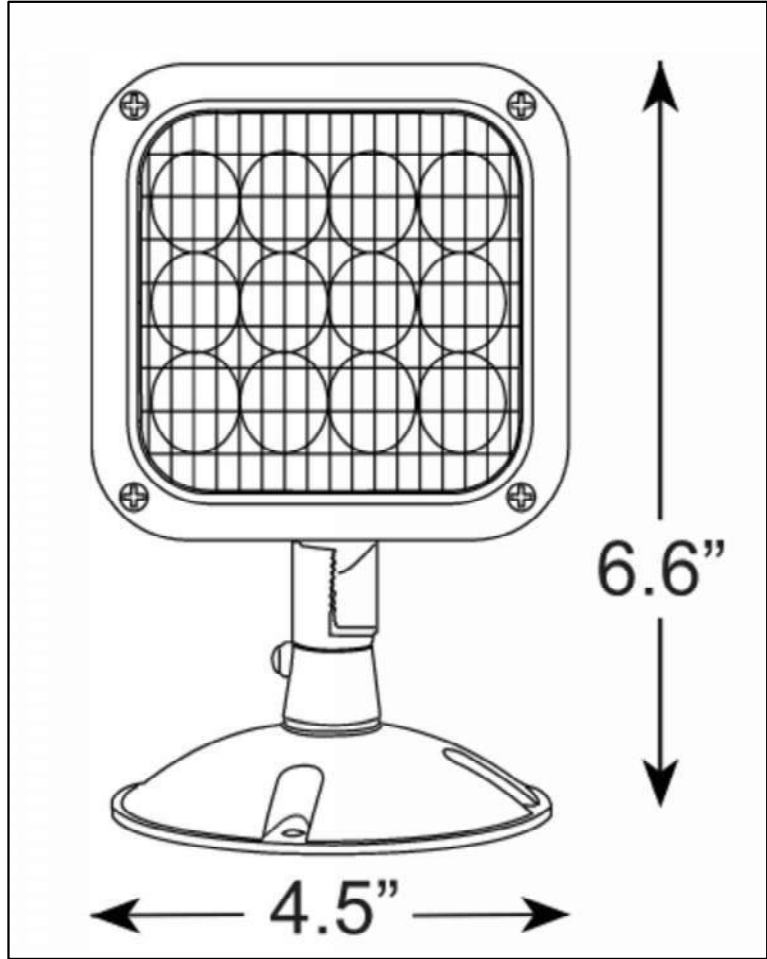




1 WALL PACK
BRONZE FINISH (3000K) REFER TO EXTERIOR ELEVATIONS.

2 WALL PACK
WHITE FINISH TO EXTERIOR ELEVATIONS.

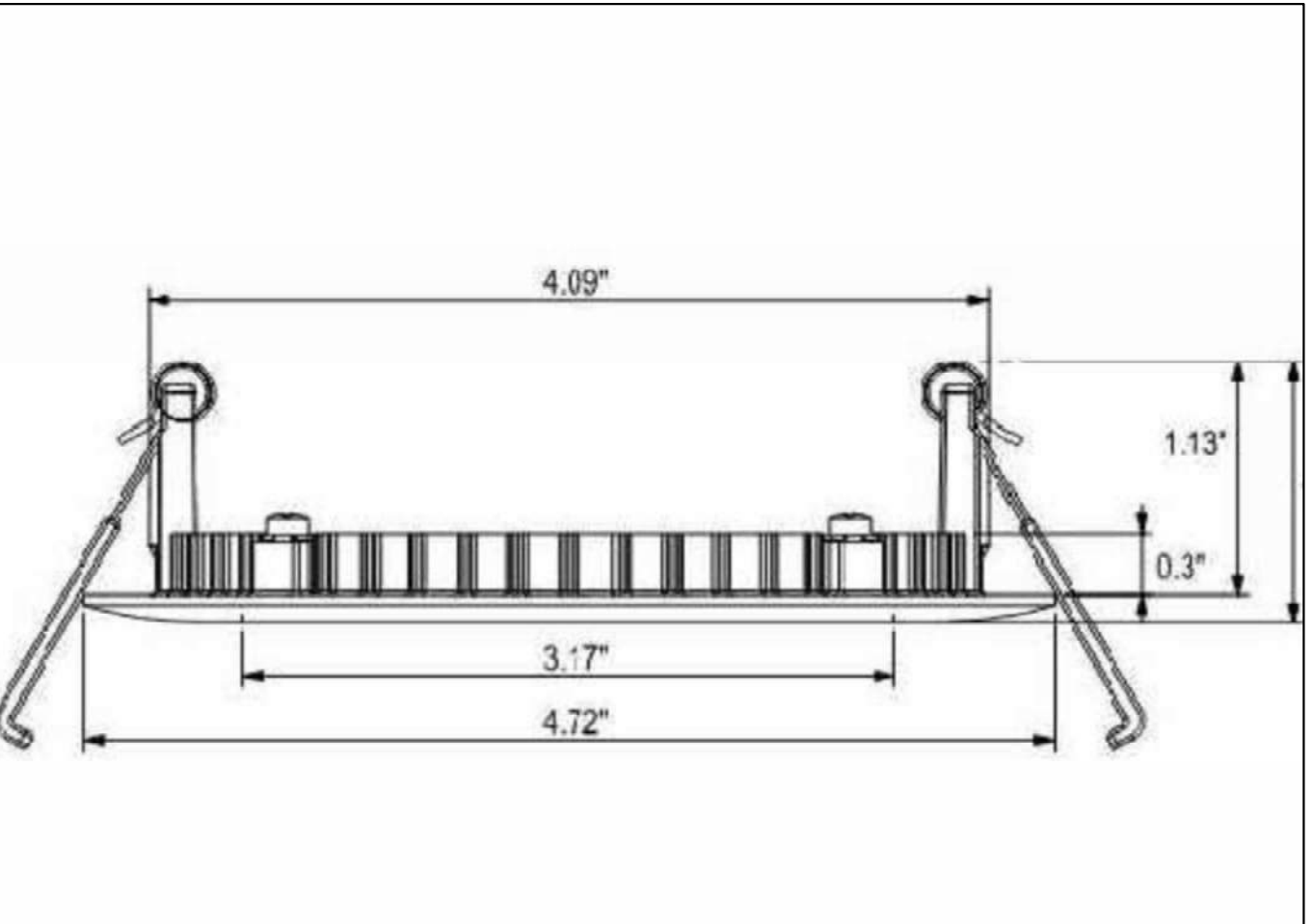
3 WALL PACK
WHITE OR BRONZE FINISH (3000K) REFER TO EXTERIOR ELEVATIONS.



4 EMERGENCY LIGHT
WHITE FINISH (3000K) REFER TO EXTERIOR ELEVATIONS.

5 EMERGENCY LIGHT
WHITE FINISH (3000K) REFER TO EXTERIOR ELEVATIONS.

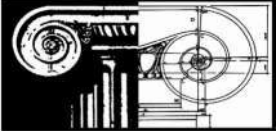
6 CANOPY DOWNLIGHT
4" SIWW5 + ALO LED FLAT (COLOR TEMPERATURE: 3000 K)



7 CANOPY DOWNLIGHT DIMENSIONS
4" SIWW5 + ALO LED FLAT (COLOR TEMPERATURE: 3000 K)

8 NOT USED

9 NOT USED

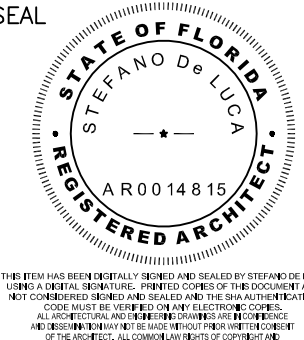
CONSULTANT:  STEFANO DE LUCA & ASSOCIATES, INC. ARCHITECTURE & DESIGN 4511 Pierce Street Hollywood, FL 33021 P: (954) 927-2890 F: (954) 307-3494	
ISSUE RECORD:	REVISIONS:
10.30.25 SITE PLAN AMENDMENT	06.05.26 DRC REVIEW COMMENT - SDLA RESPONSES
03.17.26 SITE PLAN AMENDMENT SECOND SUBMITTAL	07.31.26 DRC REVIEW COMMENT - SDLA RESPONSES
06.05.26 SITE PLAN AMENDMENT - THIRD SUBMITTAL	-
07.31.26 SITE PLAN AMENDMENT - FOURTH SUBMITTAL	-
-	-
-	-
-	-

CHIPOTLE MEXICAN GRILL
11 WESTON ROAD
SUNRISE, FL, 33326

(REVISED SITE PLAN: RSP-000038-2026)

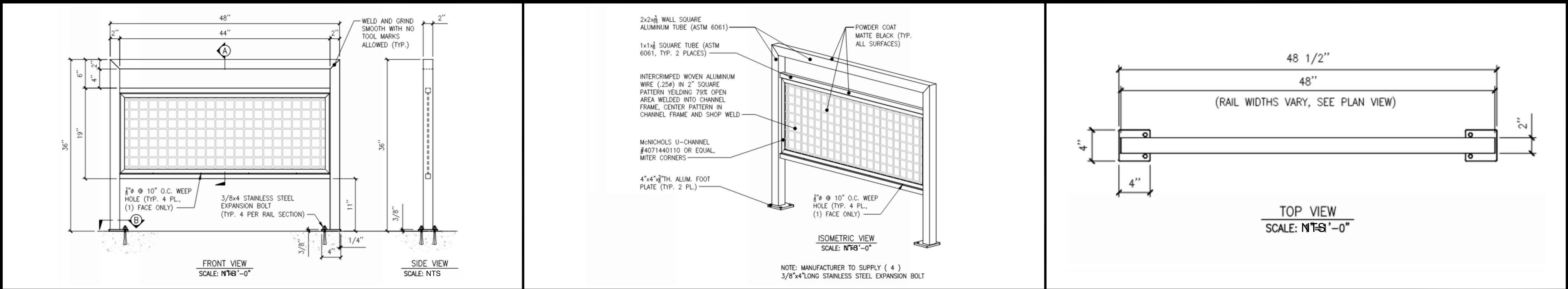
ELECTRICAL - LIGHTING INFORMATION

LEAVE BLANK - FOR CITY USE ONLY

SEAL

STEFANO DE LUCA
REGISTERED ARCHITECT
No. 14815

02.20.26

A-6



1

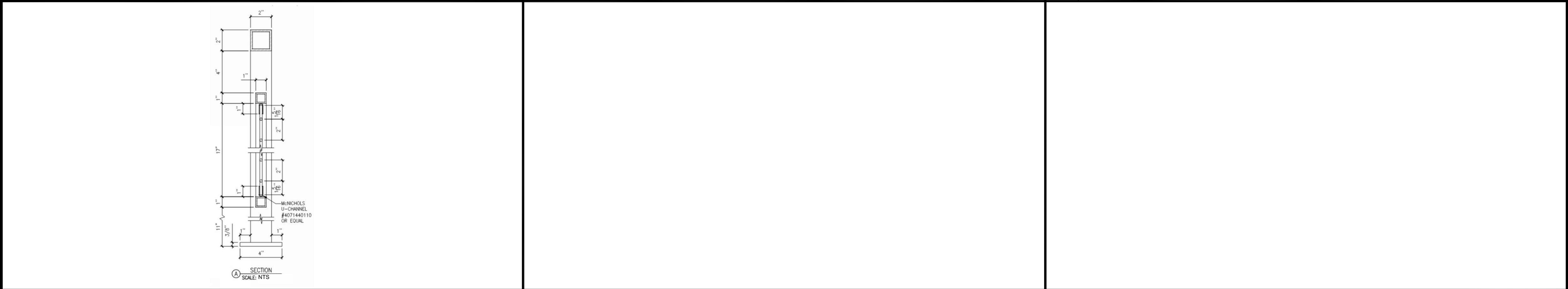
RAILING DETAIL
SCALE: NTS

2

RAILING DETAIL
SCALE: NTS

3

RAILING DETAIL
SCALE: NTS

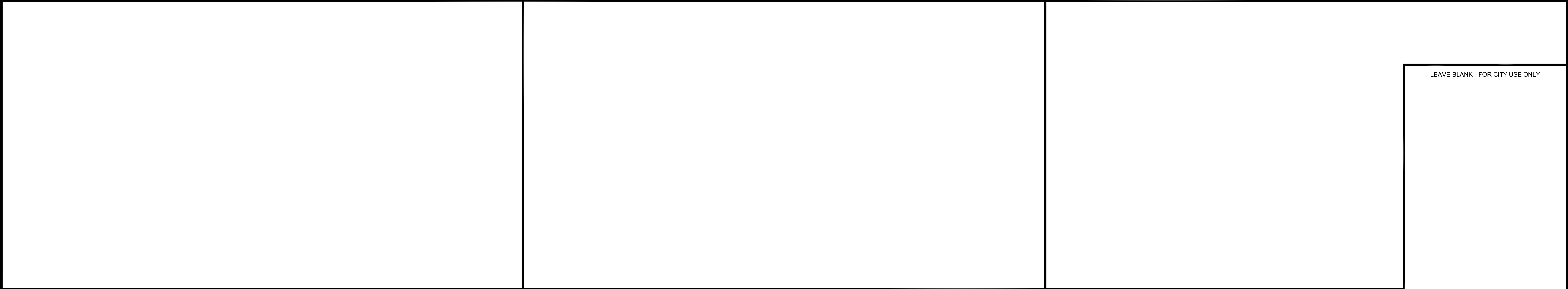


4

RAILING DETAIL
SCALE: NTS

5

6

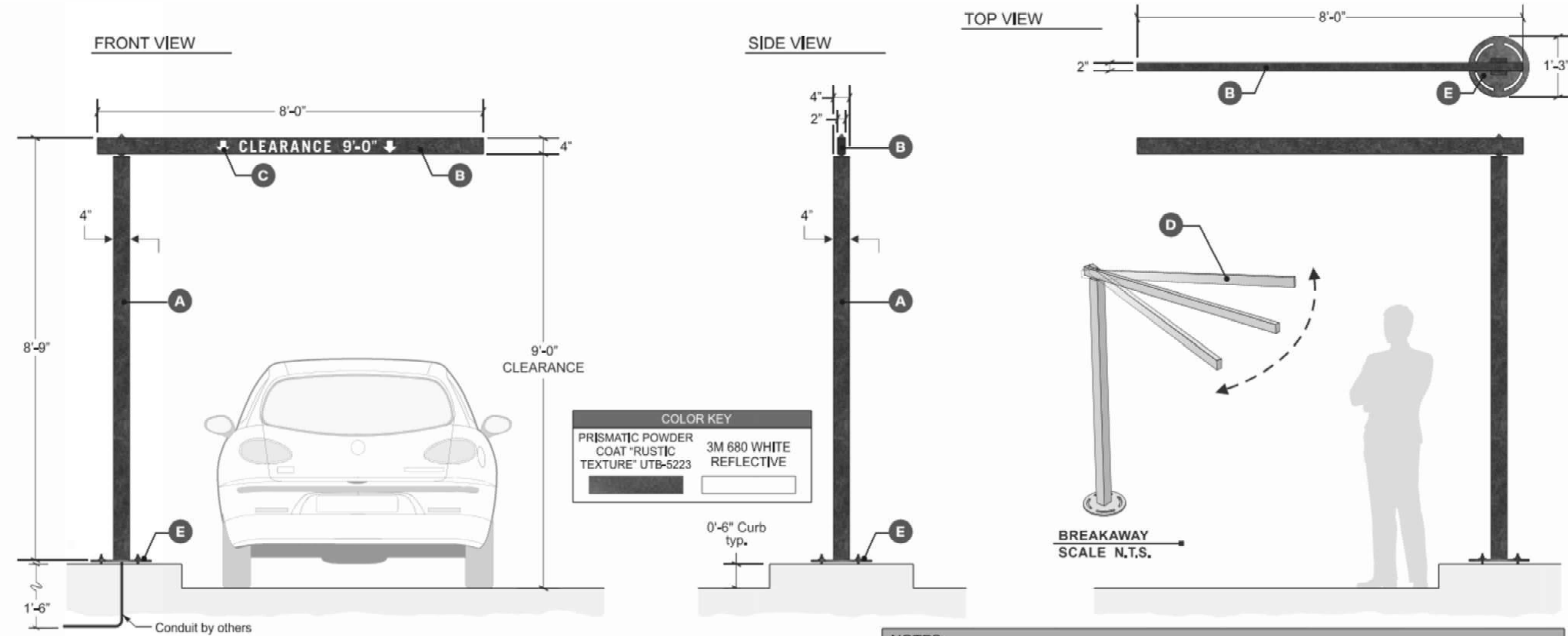


7

8

9

SIGN B | QTY :1 | SCALE: 1/2"-1'-0" | 2.67 SQ FT
CL.1 - DRIVE THRU LANE PIVOT CLEARANCE BAR W/ SIGN



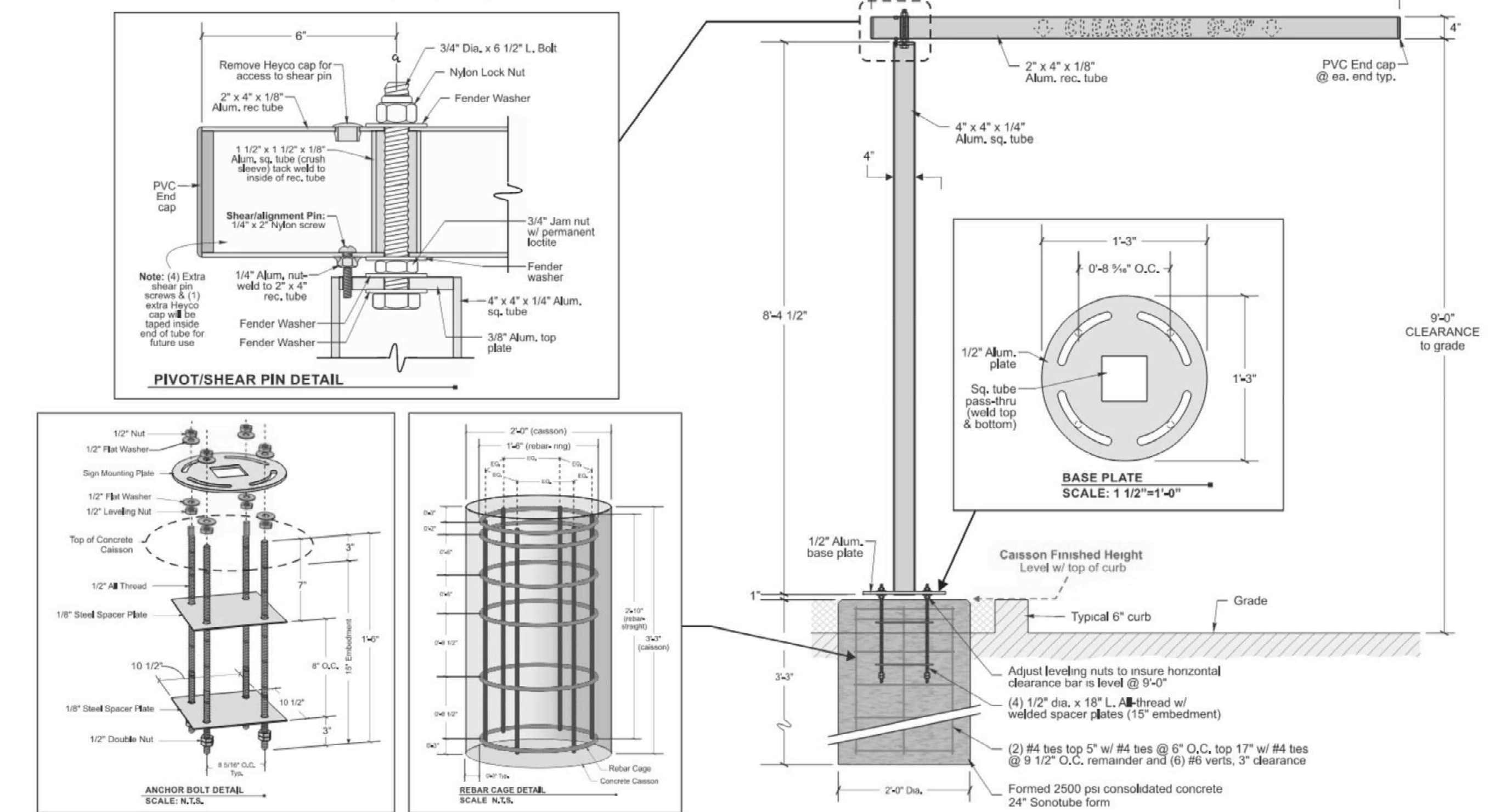
SPECIFICATIONS

- A 4" x 4" x 1/4" aluminum square tube w/ 3/8" aluminum top plate and pivot
B 2" x 4" x 1/8" aluminum rec. tube w/ black PVC end caps
C 3 1/4" x 45" Reflective vinyl graphics
D To minimize damage from impact, the top beam will give way & rotate when struck. Beam can then be manually rotated back to original position. Rotation from fixed position will break shear/alignment pin, which can be easily serviced during realignment of clearance bar.
E Slotted 1/2" alum. base plate attaches to embedded bolts in caisson. Sonotube form, rebar, and mounting hardware (four 1/2" all-thread welded to 1/8" steel spacer plates w/ washers & leveling nuts) Hole for footing plus poured & formed concrete caisson w/ embedded mounting.

NOTES:

- FOOTING MUST BE POURED CONSIDERING BASE MOUNTING PLATE OF SIGN IS EQUAL W/ CURB HEIGHT TO ENSURE TOP OF THE CLEARANCE BAR IS 9' ABOVE GRADE.
- REFERENCE DIMENSIONAL SITE PLAN PRIOR TO STARTING FOUNDATION TO ENSURE PROPER DISTANCE FROM CURB LINE.
- THE ELONGATED SLOTS WITHIN FOOTING TEMPLATE NEEDS TO BE SET HORIZONTAL TO CURB LINE SO THE VERTICAL SQUARE TUBE FOR THE CLEARANCE BAR IS PLACED PERPENDICULAR TO DRIVE LANE TO ENSURE ORIENTATION OF SIGN AND SHEAR PIN IS CORRECT, THE ANCHOR BOLTS NEED TO BE SET CENTER TO CENTER IN THE OPEN SLOTS ON THE BASEPLATE CONSIDERING PLACEMENT OF THE SIGN.
- EXACT FOOTING DIMENSIONS TO BE DETERMINED BY ENGINEER DRAWINGS.
- IF THE CURB IS NOT 6" TALL, THE SONOTUBE MIGHT NEED TO BE SET HIGHER IN ORDER TO GET THE PROPER CLEARANCE, CALL BROADWAY PM IN THIS EVENT FOR PROPER DIRECTION.

DRIVE THRU LANE PIVOT CLEARANCE BAR W/SIGN (CONT.)



1

CLEARANCE BAR

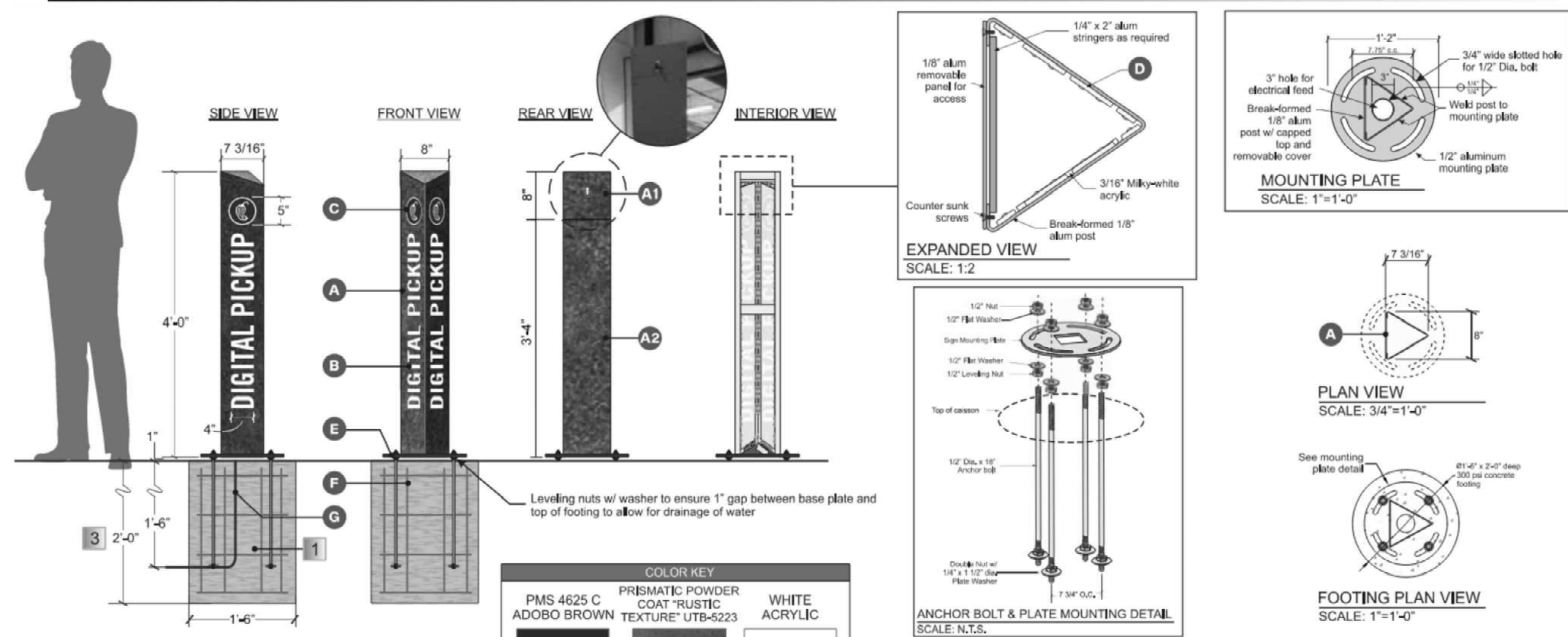
ALL PROPOSED SIGNAGE REGULATED BY THE CITY OF SUNRISE LAND DEVELOPMENT CODE SHALL BE REVIEWED UNDER A SEPARATE BUILDING PERMIT.

2

CLEARANCE BAR

ALL PROPOSED SIGNAGE REGULATED BY THE CITY OF SUNRISE LAND DEVELOPMENT CODE SHALL BE REVIEWED UNDER A SEPARATE BUILDING PERMIT.

SIGN C | QTY :1 | SCALE: 3/4"-1'-0" | 2.67 SQ FT
P.2 - DOUBLE SIDED "CHIPOTLANE" POST W/ DRIVE THRU ANNOUNCE SIGN



SPECIFICATIONS

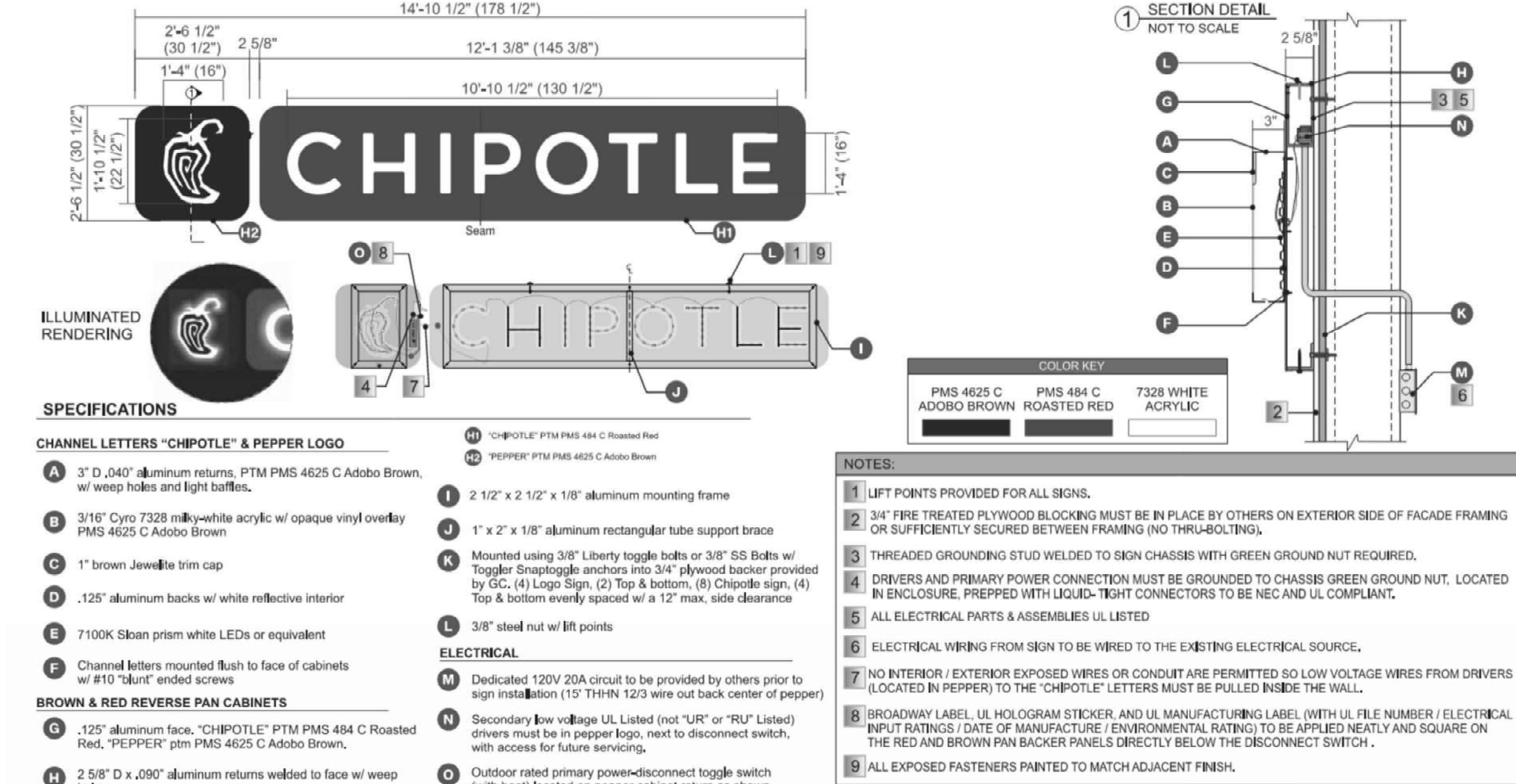
- A Waterjet cut & break formed 1/8" aluminum post (w/ capped top) welded to aluminum mounting plate
B 8" fixed section w/ disconnect switch
C Removable side panel for access
D Reverse-cut text w/ 3/16" milky-white acrylic backing
E Reverse-cut circle w/ 3/16" milky-white acrylic backing. First surface applied opaque vinyl pepper logo. Only white part of logo to illuminate.
F 7100K Sloan prism white LEDs or equivalent
G Mounting plate attaches to embedded anchor bolts in caisson. Mounting bolts include 1/2" nuts & washers for leveling
H Concrete caisson & rebar as required
I 120V primary power by others prior to installation

NOTES:

- 1 INSTALLER TO DISCUSS WITH GC LOCATION OF SIGNAGE AND HEIGHT OF SONOTUBE IN COMPARISON TO FINISH GRADE PRIOR TO STARTING FOOTINGS.
2 REFERENCE DIMENSIONAL SITE PLAN PRIOR TO STARTING FOUNDATION TO ENSURE PROPER DISTANCE FROM CURB LINE.
3 EXACT FOOTING DIMENSIONS TO BE DETERMINED BY ENGINEER DRAWINGS.

DIRECTIONAL SIGN CHART	
DIRECTIONAL SIGNS	PROPOSED
NUMBER MAXIMUM	1
AREA MAXIMUM	2.67 S.F.
HEIGHT MAXIMUM	4 FT
OTHER RESTRICTIONS	ASSUMING THE PEPPER LOGO IS NOT CONSIDERED "ADVERTISING COPY"

SIGN A | QTY :1 | SCALE: 1/2"-1'-0" | 37.8 SQ FT
B-3 SIGN - ILLUMINATED CHANNEL LETTER WALL SIGN



SPECIFICATIONS

- CHANNEL LETTERS "CHIPOTLE" & PEPPER LOGO
A 3" D, .040" aluminum returns, PTM PMS 4625 C Adobe Brown, w/ weep holes and light baffles.
B 3/16" Cyro 7328 milky-white acrylic w/ opaque vinyl overlay PMS 4625 C Adobe Brown
C 1" brown Jewelrite trim cap
D .125" aluminum backs w/ white reflective interior
E 7100K Sloan prism white LEDs or equivalent
F Channel letters mounted flush to face of cabinets w/ #10 "blunt" ended screws
G .125" aluminum face, "CHIPOTLE" PTM PMS 484 C Roasted Red, "PEPPER" PTM PMS 4625 C Adobe Brown.
H 2 5/8" D x .200" aluminum returns welded to face w/ weep holes.
I 2 1/2" x 2 1/2" x 1/8" aluminum mounting frame
J 1" x 2" x 1/8" aluminum rectangular tube support brace
K Mounted using 3/8" Liberty toggle bolts or 3/8" SS Bolts w/ Toggle Single toggle anchors into 3/4" plywood batten provided by GC. (4) Logo Sign, (2) Top & bottom, (8) Chipotle sign, (4) Top & bottom evenly spaced w/ a 12" max. side clearance
L 3/8" steel nut w/ lift points
M Dedicated 120V 20A circuit to be provided by others prior to sign installation (15' THHN 12/3 wire out back center of pepper)
N Secondary low voltage UL Listed (not "UL" or "RUL" Listed) drivers must be in pepper logo, next to disconnect switch, with access for future servicing.
O Outdoor rated primary power-disconnect toggle switch (with boot) located on pepper cabinet return as shown.

NOTES:

- 1 LIFT POINTS PROVIDED FOR ALL SIGNS.
2 3/4" FIRE TREATED PLYWOOD BLOCKING MUST BE IN PLACE BY OTHERS ON EXTERIOR SIDE OF FACADE FRAMING OR SUFFICIENTLY SECURED BETWEEN FRAMING (NO THRU-BOLTING).
3 THREADED GROUNDING STUD WELDED TO SIGN CHASSIS WITH GREEN GROUND NUT REQUIRED.
4 DRIVERS AND PRIMARY POWER CONNECTION MUST BE GROUNDED TO CHASSIS GREEN GROUND NUT, LOCATED IN ENCLOSURE, PREPARED WITH LIQUID-TIGHT CONNECTORS TO BE NEC AND UL COMPLIANT.
5 ALL ELECTRICAL PARTS & ASSEMBLIES UL LISTED
6 ELECTRICAL WIRING FROM SIGN TO BE WIRED TO THE EXISTING ELECTRICAL SOURCE.
7 NO INTERIOR / EXTERIOR EXPOSED WIRES OR CONDUIT ARE PERMITTED SO LOW VOLTAGE WIRES FROM DRIVERS (LOCATED IN PEPPER) TO THE "CHIPOTLE" LETTERS MUST BE PULLED INSIDE THE WALL.
8 BROADWAY LABEL, UL HOLOGRAM STICKER AND UL MANUFACTURING LABEL (WITH UL FILE NUMBER / ELECTRICAL INPUT RATINGS / DATE OF MANUFACTURE / ENVIRONMENTAL RATING) TO BE APPLIED NEATLY AND SQUARE ON THE RED AND BROWN PAN BACKER PANELS DIRECTLY BELOW THE DISCONNECT SWITCH.
9 ALL EXPOSED FASTENERS PAINTED TO MATCH ADJACENT FINISH.

WALL SIGN CHART	
WALL SIGN	PROPOSED
NUMBER MAXIMUM	1 SIGN
AREA MAXIMUM (REFER TO FIGURE XIV-1)	1 SF. X 47' - 2" (L.F.) = 47.2 SF. PROPOSED SIGN = 37.8 S.F.
HEIGHT MAXIMUM	TOP OF FACADE, BELOW TOP OF WALL

3

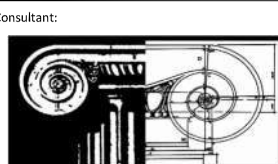
ANNOUNCE SIGN

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4

WALL SIGN

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STEFANO DE LUCA & ASSOCIATES, INC.
ARCHITECTURE & DESIGN

4501 Pierce Street
Hollywood, FL 33021
P: (954) 927-2890 F: (954) 307-3494

ISSUE RECORD:

10.30.25	SITE PLAN AMENDMENT
03.17.26	SITE PLAN AMENDMENT SECOND SUBMITTAL
06.05.26	DRC REVIEW COMMENT - SDLA RESPONSES
07.31.26	SITE PLAN AMENDMENT - FOURTH SUBMITTAL

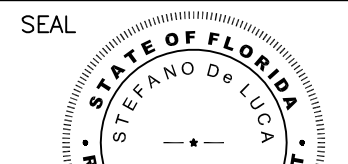
REVISIONS:

03.17.26	DRC COMMENT - NEW SHEET
07.31.26	DRC REVIEW COMMENT - SDLA RESPONSES
-	-
-	-
-	-
-	-

CHIPOTLE MEXICAN GRILL
11 WESTON ROAD
SUNRISE, FL, 33326

(REVISED SITE PLAN: RSP-000038-2026)

SITE FEATURES



02.20.26

A-8

EXISTING

PROPOSED

NOTES:

- REPLACE FLEX FACES
- RETROFIT CABINET WITH LED's
- PAINT CABINET, REVEAL, & BASE SW 2838

GROUND SIGN CHART	
GROUND SIGN	PROPOSED
NUMBER MAXIMUM	1
SETBACK MINIMUM	17'-0" FROM RIGHT OF WAY
HEIGHT MAXIMUM	6 FT
AREA MAXIMUM	BLANK
200 FT. OR MORE OF FRONTAGE	33.67 SQ. FT. (287' - 4 13/16" FRONTAGE ALONG NORTH WESTON ROAD
LESS THAN 200 FT. OF FRONTAGE	BLANK
SPACING	100 FEET MINIMUM
ADDRESS	ADDRESS WILL BE PROVIDED DIRECTLY ON THE MONUMENT SIGN
LANDSCAPING	REFER TO FINAL LANDSCAPE PLAN

SIGN D | QTY :2 | SCALE: 1/2"=1'-0" | 33.67 SQ FT

FLEX FACE MONUMENT PANELS

SPECIFICATIONS

A Flex face material panel w/ Opaque 1st surface stencil cut vinyl graphics to match PMS 4625 C Adobe Brown and PMS 484 C Roasted Red w/ Translucent white graphics

B LED retrofit to new 7100K Sloan prism white LEDs or equivalent

COLOR KEY

PMS 4625 C
ADOBE BROWN

PMS 484 C
ROASTED RED

WHITE

NOTES:

ONLY WHITE PORTION OF SIGN IS TO ILLUMINATE

1

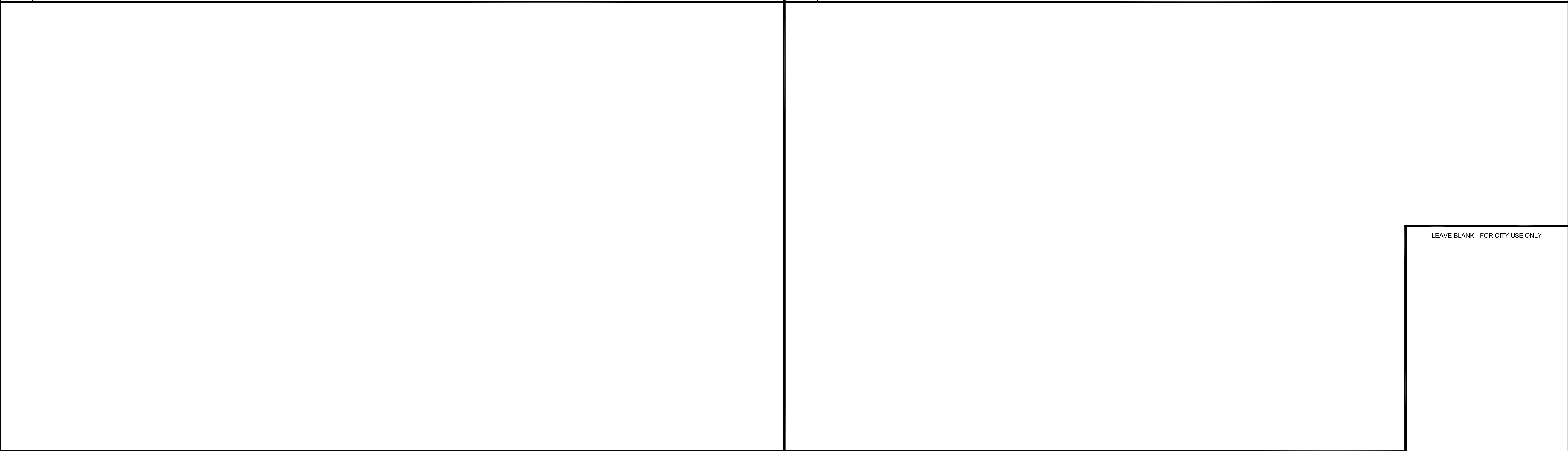
MONUMENT SIGN

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2

MONUMENT SIGN

ALL PROPOSED SIGNAGE REGULATED BY THE CITY OF SUNRISE LAND DEVELOPMENT CODE SHALL BE REVIEWED UNDER A SEPARATE BUILDING PERMIT.

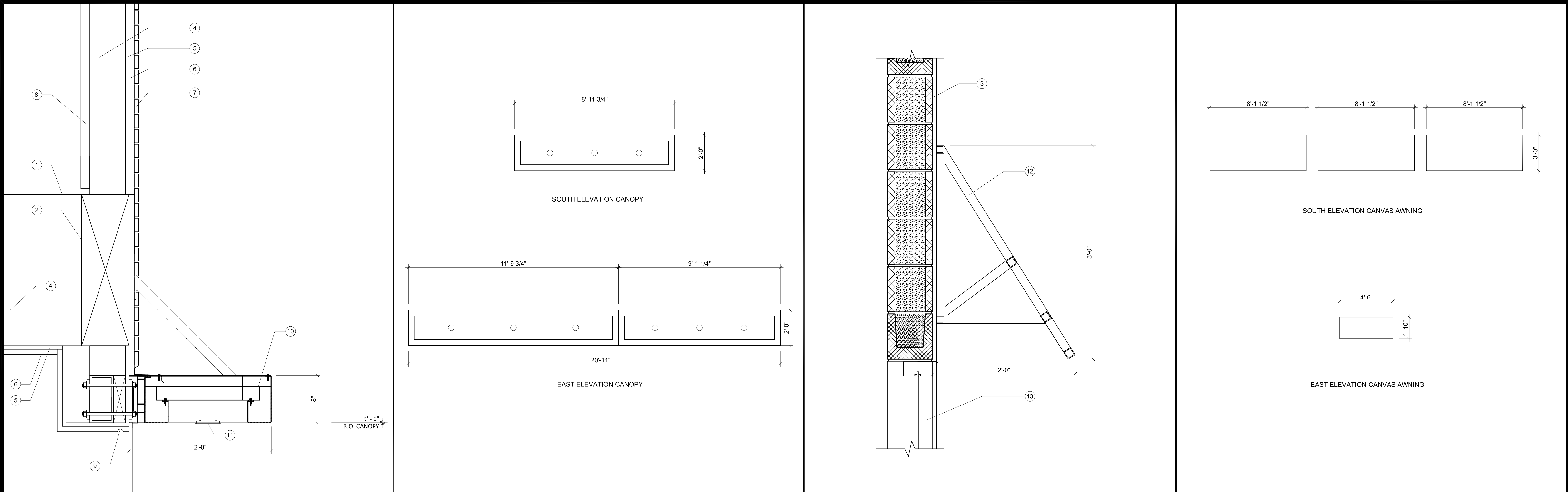


3

NOT USED

4

NOT USED

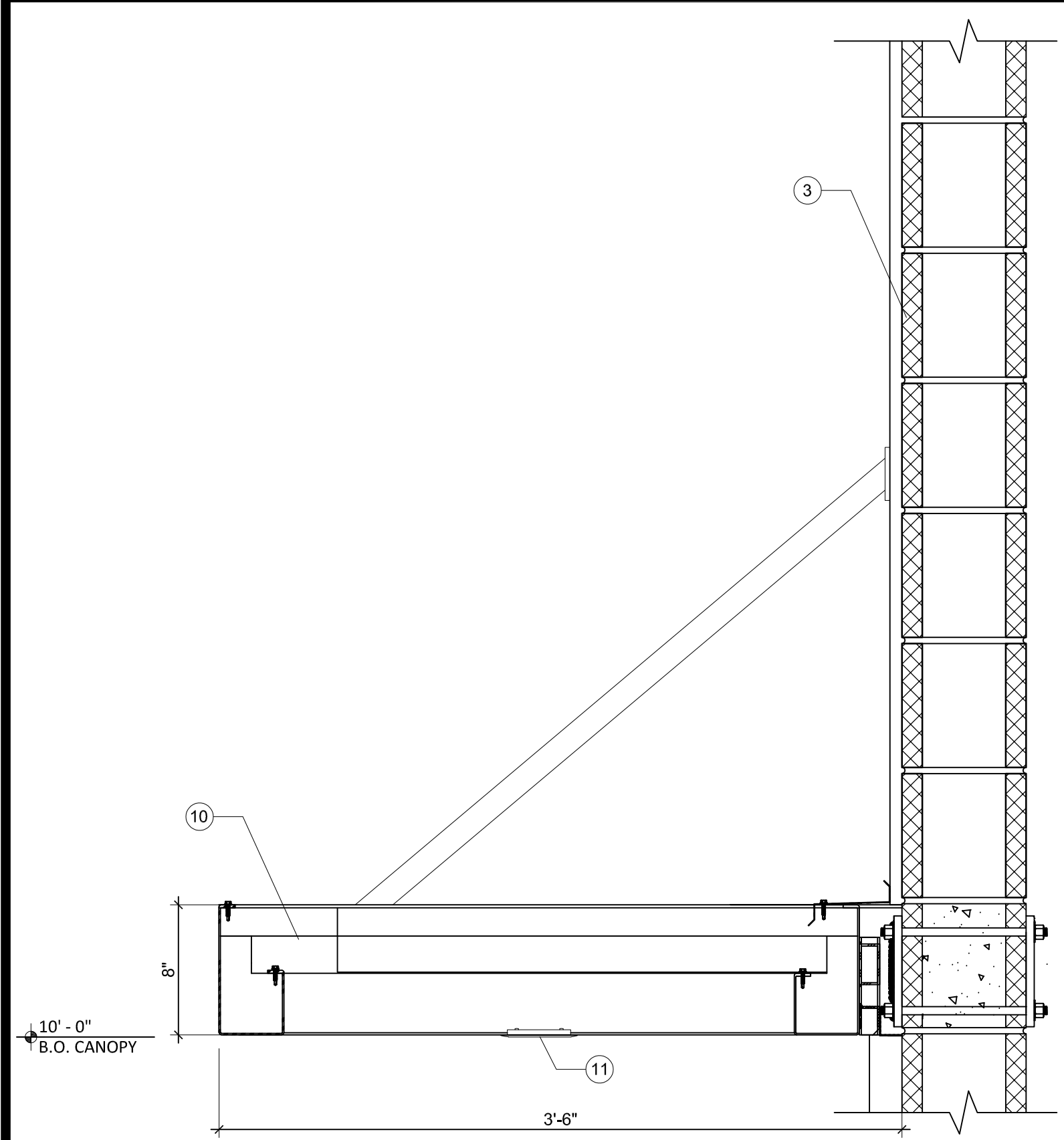


1 CANOPY SECTION AT ENTRY
SCALE: 1 1/2" = 1'-0"

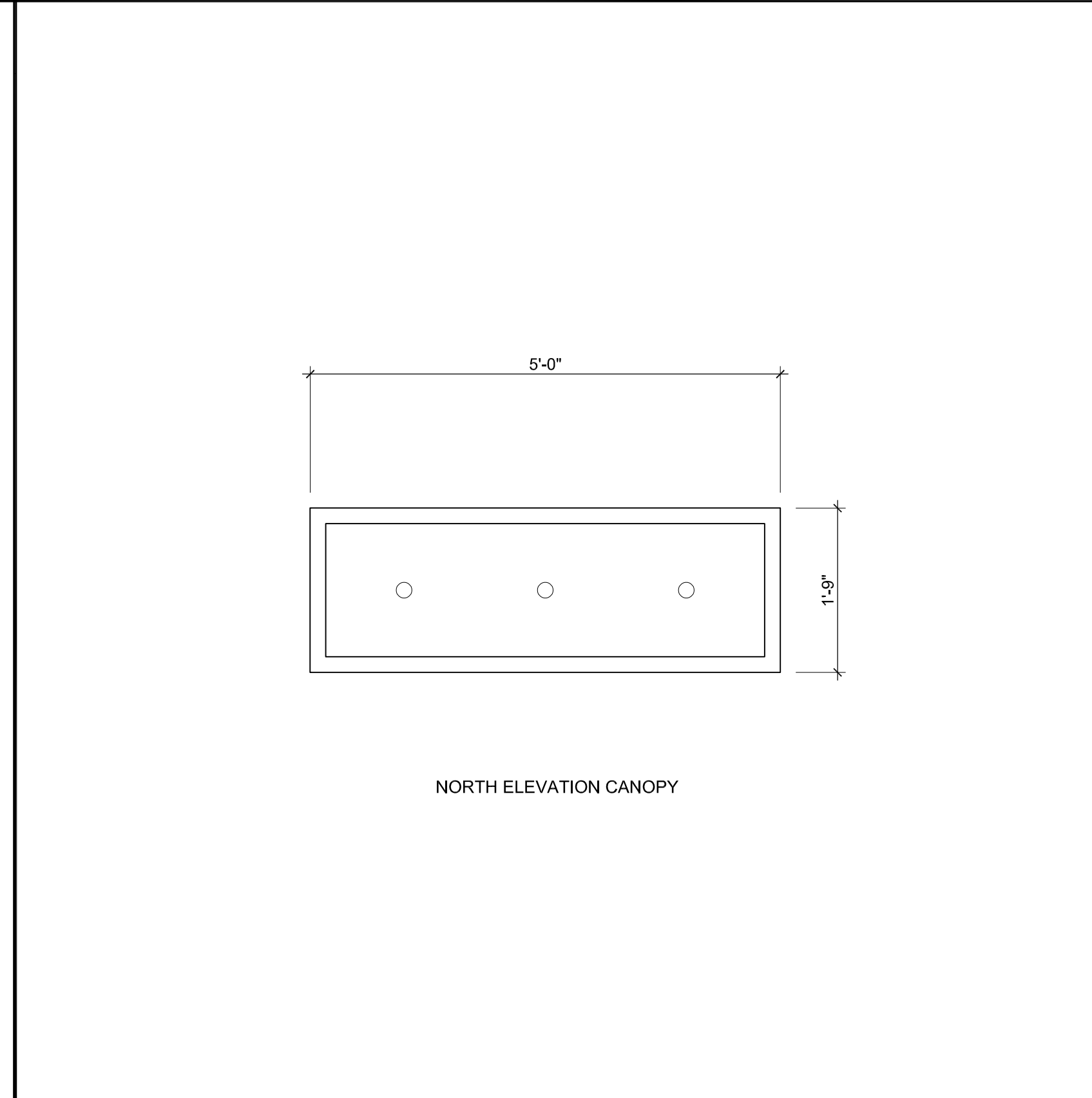
2 CANOPY REFLECTED CEILING PLAN AT ENTRY
SCALE: 3/8" = 1'-0"

3 FABRIC AWNING SECTION
SCALE: 1 1/2" = 1'-0"

4 FABRIC AWNING REFLECTED CEILING PLAN DETAILS
SCALE: 3/8" = 1'-0"



5 CANOPY SECTION AT PICK-UP WINDOW
SCALE: 1 1/2" = 1'-0"

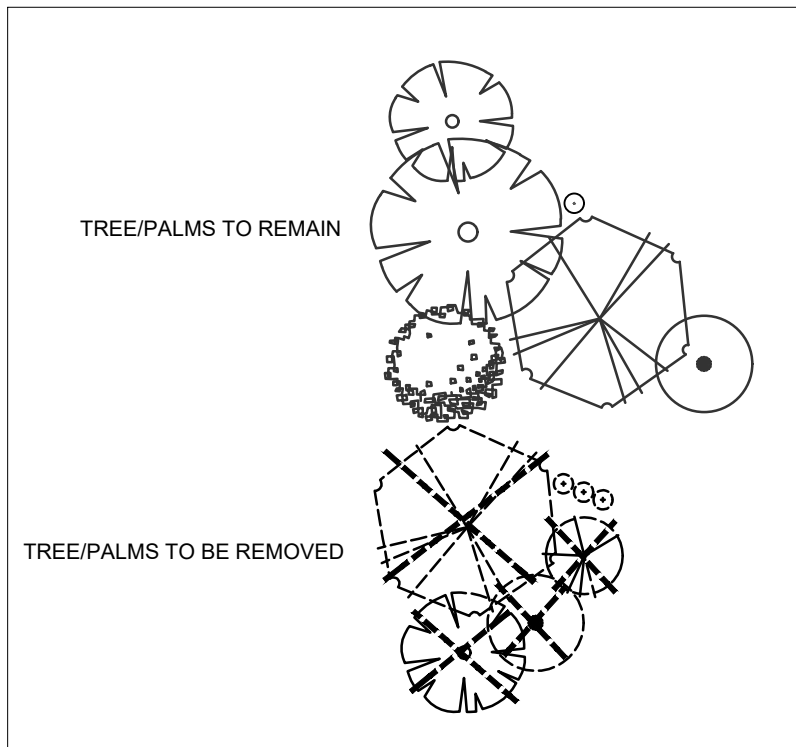


6 CANOPY REFLECTED CEILING PLAN AT PICK-UP WINDOW
SCALE: 3/8" = 1'-0"

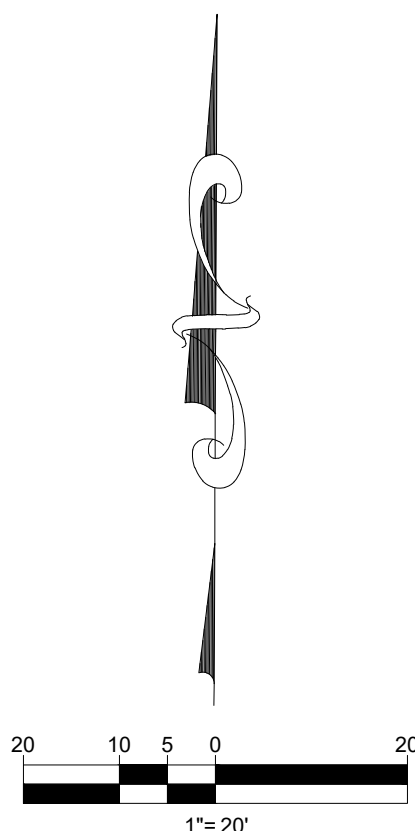
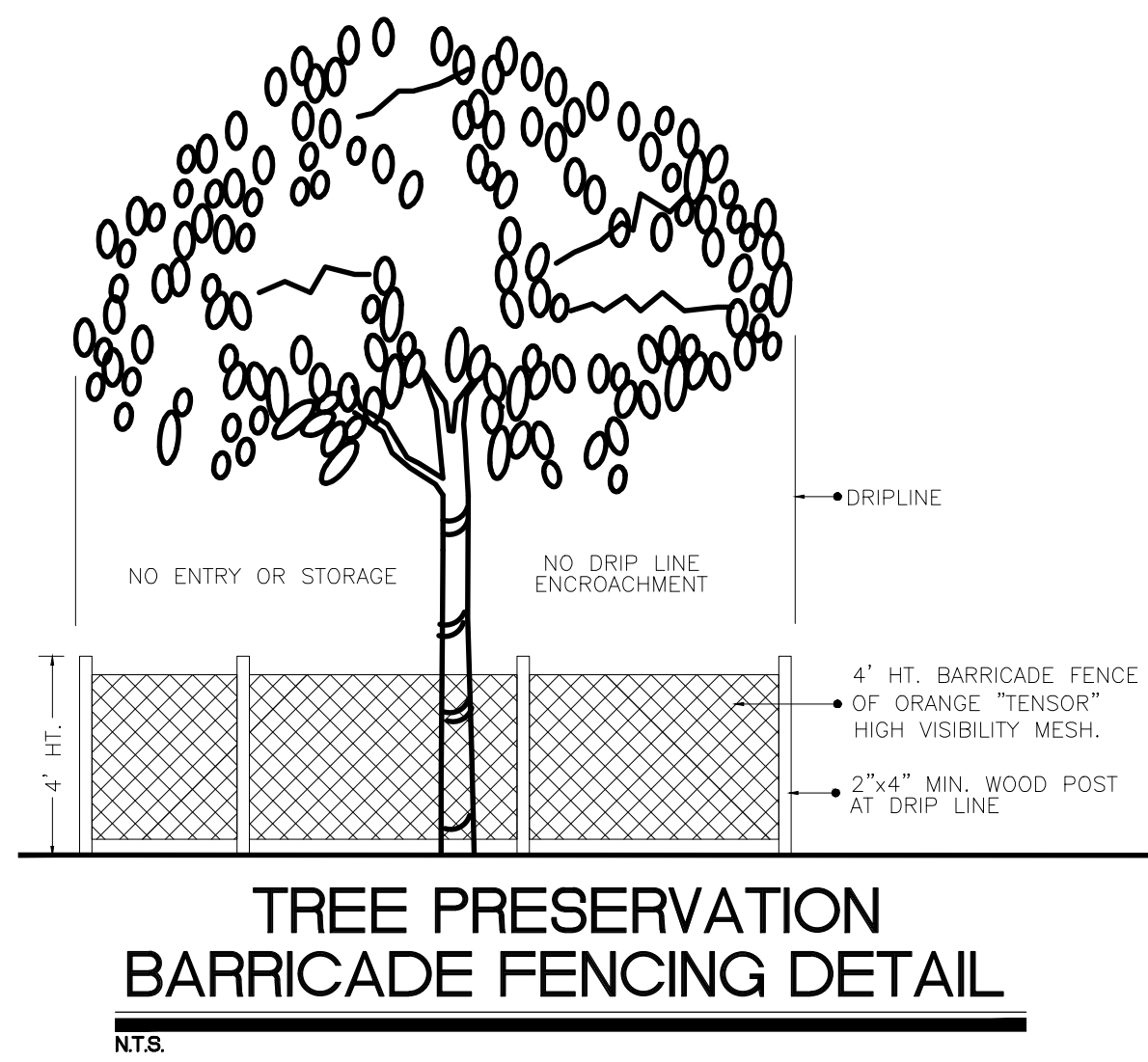
GENERAL NOTES

- EXISTING CMU COLUMN WITH STUCCO FINISH.
- EXISTING CONCRETE TIE BEAM.
- EXISTING CMU WALL WITH STUCCO FINISH.
- NEW 6" FRAMING.
- NEW 5/8" EXTERIOR SHEATHING.
- NEW 7/8" STUCCO FINISH (SMOOTH).
- NEW VENEER TILE.
- NEW PRE-ENGINEERED WOOD TRUSS.
- STUCCO DRIP.
- NEW PRE-FABRICATED METAL CANOPY.
- NEW 4" ROUND LED (3000K) DOWN LIGHT.
- NEW PRE-FABRICATED ALUMINUM FRAMED FABRIC AWNING.
- NEW IMPACT-RATED STOREFRONT WINDOW.

LEAVE BLANK - FOR CITY USE ONLY



When allowed by a tree removal permit, any trees which are removed and not relocated shall be replaced in accordance with the requirements of this section. As a condition of being granted permission to remove any trees, the developer, property owner or other applicant shall be required to replace such trees, unless it is demonstrated that replacement is not a viable alternative due to a lack of available space or available tree quality. Where replacement cannot be accomplished the applicant shall pay a replacement contribution into the city's reforestation account. The replacement contribution will be determined using a schedule for current value of replacement trees plus installation and maintenance as established by the city.



7. ALL INVASIVE SPECIES MUST BE COMPLETELY REMOVED FROM THE ENTIRE SITE (INCLUDING CANAL BANKS, IF APPLICABLE).

UNLESS SPECIFICALLY NOTED TO REMAIN, ALL HEDGES, SHRUBS AND GROUND COVERS ON SITE SHALL BE REMOVED. ALL EXISTING SOD WITHIN THE RIGHT-OF-WAY TO REMAIN. ANY SOD AREAS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR.

[illegible]

LEAVE BLANK - FOR CITY USE ONLY



SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT/ROOT BALL SIZE	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC
TREES									
	CD	2	Coccoloba diversifolia / Pigeon Plum	B&B	2.5"Cal	12'	6'		
	HU	1	Hibiscus rosa-sinensis 'Double Red' / Double Red Chinese Hibiscus	15 gal.		5-6'	2-3'		
	LI	7	Lagerstroemia indica / Crape Myrtle 'Muskogee'	25 gal.	2.5"Cal	12' Ht	5'	No	High
	TP	2	Tabebuia pallida / Pink Tabebuia	B & B	3" Cal	14-16' ht.	5'	No	High
MITIGATION PALMS									
	SP-M	7	Sabal palmetto / Sabal Palm	B & B		18-20' Ht.	10'	Yes	High
MITIGATION TREES									
	QV-M	3	Quercus virginiana / Southern Live Oak	B & B	2.5"Cal	12'	4-5'	Yes	HIGH
PALM TREES									
	VA	6	Vietchia montgomeryana / Montgomery Palm	Container		18-20' Ht.		No	Medium
RELOCATED PALMS									
	SP-R	3	Sabal palmetto / Sabal Palm	B & B			10'	Yes	High
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	HEIGHT	SPREAD	NATIVE	
SHRUBS									
	CHH	85	Chrysobalanus icaco 'Red Tip' / Red Tip Cocoplum	-	24"	24"	24"	Yes	
	CLG	12	Clusia guttifera / Clusia	NA	As Shown	48"	30-36"	No	
	CG	8	Clusia guttifera nana / Dwarf Clusia	NA	As Shown	24"	18"-24"	No	
	COV	2	Codiaeum variegatum 'Pictum' / Croton	7 gal	As Shown	30"	24"	No	
	CES	26	Conocarpus e. sericeus / Silver Buttonwood	NA	24"	24"	18-24"	Yes	
	COT	5	Cordyline terminalis 'Black Magic' / Black Magic Ti Plant	7 gal	As Shown	30"	24"	No	
	CRI	15	Crinum augustum 'Queen Emma' / 'Queen Emma' Crinum	15 gal	As Shown	48"	48"	No	
	POD	23	Podocarpus macrophyllus maki / Shrubby Yew	NA	24"	24"	24"	No	
	VIB	58	Viburnum suspensum / Sandankwa Viburnum	NA	24"	24"	18-24"	No	
SHRUB AREAS									
	DUR	40	Duranta repens 'Dwarf Golden' / Sky Flower	-	24"	24"	16-18"	Yes	
	HPW	30	Hamelia patens 'compacta' / Fire Bush	-	24"	18-24"	18-24"	Yes	
	HAC	116	Hamelia patens 'Compacta' / Dwarf Scarlet Bush	n/a	24"	18"	18"	Yes	
	ING	55	Ixora macrothyrsa 'Nora Grant' / Pink Ixora	3 gal@	24"	18-24"	18-24"	No	
	IXT	51	Ixora taiwanesis / Dwarf Taiwanese Ixora	n/a	16"	24"	18"-20"	No	
	JAS	3	Jasminum simplicifolium / Southern Wax Jasmine	-	24"	18"	18"	No	
	MUH	12	Muhlenbergia capillaris / Pink Muhly Grass	n/a	30"	14-16"	14-16"	Yes	
GROUND COVERS									
	FIM	157	Ficus microcarpa 'Green Island' / Green Island Ficus	1 gal@	18"	14-16"	14-16"	No	
	ILX	36	Ilex vomitoria 'Schillings Dwarf' / Dwarf Schillings Holly	3 gal@	18"	12-14"	12-14"	Yes	
	LIR	501	Liriope muscari / Lily Turf	-	18"	12-14"	10-12"	No	

NOTE! PRIOR TO INSTALLATION, CONTRACTOR SHALL REFER TO ENGINEERS UTILITIES AND PAVING/GRADING/DRAINAGE PLANS FOR LOCATIONS OF UNDERGROUND UTILITIES (WATER, SEWER, DRAINAGE AND ELECTRICAL CONDUIT).

[illegible]

LEAVE BLANK - FOR CITY USE ONLY

"WHERE DISCREPANCIES EXIST, THE CITY OF
SUNRISE LAND DEVELOPMENT CODE ARTICLE VII
SHALL GOVERN."

LANDSCAPE AREAS INCLUDING LANDSCAPE ISLANDS, WITHIN OR ABUTTING VEHICULAR USE AREAS SHALL BE EXCAVATED TO A DEPTH OF TWO AND ONE-HALF (2 $\frac{1}{2}$) FEET TO ENSURE THAT ADEQUATE PLANTING SOIL EXISTS. PARKING LOT BASE COURSE MATERIAL, LIMEROCK, ASPHALT AND OTHER SIMILAR MATERIAL SHALL BE REMOVED TO A DEPTH OF TWO AND ONE-HALF (2 $\frac{1}{2}$) FEET.

