

RYAN O. THOMAS, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 53891. THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RYAN O. THOMAS, PE ON 6/16/2026. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SECTION 4, TOWNSHIP 50S, RANGE 40E
FOR
MAPLEWOOD COMMUNITIES

APORTION OF PARCEL "A", OF NEW RIVER ESTATES, SECTION SIX, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 116, PAGE 37, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SAID PARCEL "A", THENCE SOUTHEASTERLY ALONG THE NORTHERLY BOUNDARY OF PARCEL "A" AND ALONG A 7865.44 FOOT RADIUS CURVE CONCAVE TO THE SOUTHWEST, THROUGH A CENTRAL ANGLE OF 03°47'29" AND AN ARC LENGTH OF 136.00 FEET TO THE POINT OF BEGINNING, THENCE SOUTHWESTERLY ALONG THE NORTHERLY BOUNDARY OF SAID PARCEL "A", THENCE SOUTH 14°43'50" WEST A DISTANCE OF 194.31 FEET ALONG THE EASTERLY BOUNDARY OF SAID PARCEL "A", THENCE CONTINUE ALONG SAID EASTERLY BOUNDARY SOUTH 17°06'11" WEST A DISTANCE OF 12.67 FEET, THENCE CONTINUE ALONG SAID EASTERLY BOUNDARY SOUTH 22°14'45" WEST A DISTANCE OF 10.31 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE ALONG SAID EASTERLY BOUNDARY SOUTH 22°14'45" WEST A DISTANCE OF 50.08 FEET, THENCE CONTINUE ALONG SAID EASTERLY BOUNDARY SOUTH 17°06'11" WEST A DISTANCE OF 187.00 FEET, THENCE NORTH 72°33'49" WEST A DISTANCE OF 112.40 FEET TO A POINT OF CURVATURE OF A 25.00 FOOT RADIUS CURVE, CONCAVE TO THE NORTHEAST, THENCE ALONG SAID CURVE SOUTHWESTERLY TO THE POINT OF BEGINNING, THENCE CONTINUE ALONG SAID EASTERLY BOUNDARY OF SAID PARCEL "A", THENCE NORTH 00°03'06" WEST A DISTANCE OF 219.02 FEET, THENCE NORTH 89°56'54" EAST A DISTANCE OF 180.17 FEET, THENCE SOUTH 67°45'15" WEST A DISTANCE OF 39.95 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

THE SITE PLAN SET IS APPROVED PURSUANT TO SECTION 16-31 OF THE CITY OF SUNRISE LAND DEVELOPMENT CODE AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH FLORIDA BUILDING CODE. ANY CHANGE TO DETAILS SHOWN, TO SATISFY THE REQUIREMENTS OF FLORIDA BUILDING CODE SHALL REQUIRE REVIEW FOR CONSISTENCY AND COMPLIANCE WITH THE CITY OF SUNRISE LAND DEVELOPMENT CODE.

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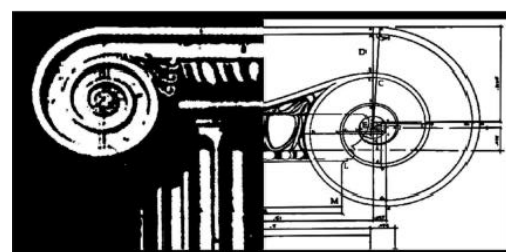
1"=500'

Map showing the location of the proposed site (indicated by a black arrow and the word "SITE") in Westborough, MA. The site is located near the intersection of Weston Rd and Westport Rd, adjacent to the Playtown Museum and the Firehouse Subs. The map includes various landmarks, roads, and geographical features, such as Markham Park, Markham Park Nature Trail, Markham Park Target Range, Markham Park Shelter #2, Public Restrooms, Key Food Supermarkets, Firehouse Subs, and the Playtown Museum. The map also shows the New River Greenway and the Weston Rd. The map is sourced from Google Maps.

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OFFICES:

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CHIPOTLE MEXICAN GRILL
11 WESTON ROAD
SUNRISE, FLORIDA 33326

COVER SHEET

SEAL

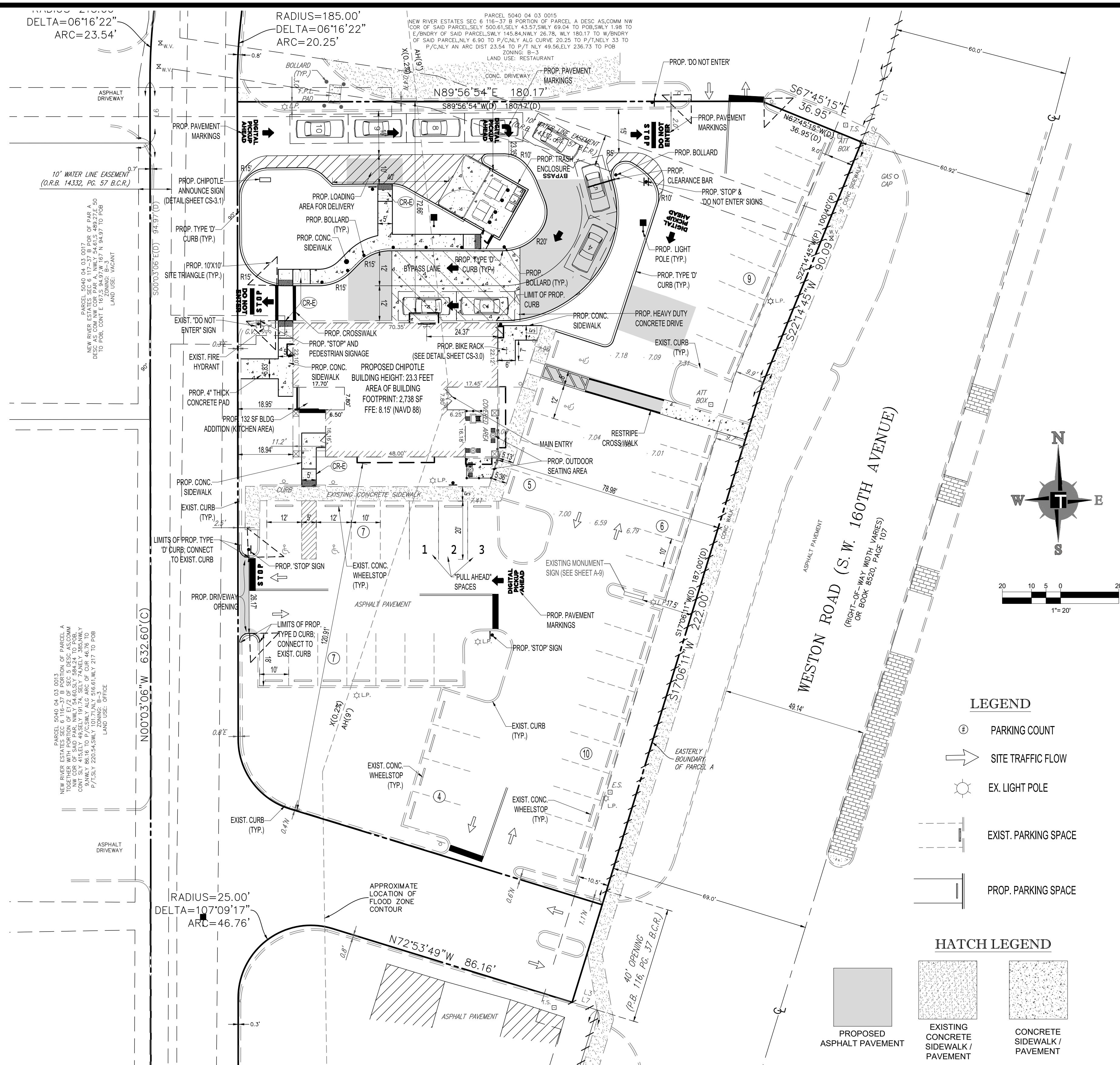
BYLAN OSCAR THOMAS

PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 53891

03-24-2026

DRAWING NO.

CS-1.0



S I T E D A T A

NAME OF PROJECT:	CHIPOTLE MEXICAN GRILL
SITE ADDRESS:	11 WESTON ROAD, SUNRISE, FL 33326
OWNER:	11 WESTON ROAD LLC 6111 BROKEN SOUND PKWY NW #200 BOCA RATON, FL 33487
WATER & WASTEWATER PROVIDER:	CITY OF SUNRISE
PROPOSED USE:	RESTAURANT WITH DRIVE-THRU
FUTURE LAND USE DESIGNATION:	COMMERCIAL
EXISTING ZONING DISTRICT:	B-3 GENERAL BUSINESS DISTRICT
SECTION, TOWNSHIP, RANGE:	40/50S/40E
PARCEL ID NUMBER:	504040430011
FEMA FLOOD ZONE:	AHIX; BASE FLOOD ELEVATION: 8 FEET/NONE; PANEL #12011C0345H; COMMUNITY #120328; MAP DATE: 8/18/14.

GROSS SITE AREA:	1.76 ACRES	(76,721 S.F.)
NET SITE AREA (5040-0403-0011):	1.01 ACRES	(44,003 S.F.)
EXISTING BUILDING FOOTPRINT:	2,606 S.F.	0.06 AC. (1-STORY)
PROPOSED BUILDING FOOTPRINT:	2,738 S.F.	0.06 AC. (1-STORY) (132 SF ADDITION)
PROPOSED BUILDING CANOPY:	678 S.F.	
PROPOSED BUILDING TOTAL:	3,416 S.F	.08 AC. (WITH CANOPY)

DEVELOPMENT STANDARDS:

	REQUIRED	PROPOSED
MIN. LOT WIDTH (FEET):	150	180.17
MIN. LOT DEPTH (FEET):	200	277.09
MIN. YARD SETBACK (FEET):		
FRONT (EAST)	75	78.98
SIDE (NORTH)	10	23.35
SIDE (SOUTH)	10	120.91
REAR (WEST)	20	18.94
MAX. HEIGHT (FEET):	250	29.3
MAX. LOT COVERAGE	35%	6.2%
MAX. FLOOR AREA RATIO	0.35	0.06
MIN. PERVIOUS AREA	15%	27%

LAND AREA BREAKDOWN:

	EXISTING 5.0%			PROPOSED 2%		
	SF.	ACRES	%	SF.	ACRES	%
IMPERVIOUS						
BUILDINGS	2,606	0.060		2,738	0.063	
VEHICULAR USE	28,621	0.652		26,264	0.603	
SIDEWALKS/CURBS	3,930	0.090	65.6%	3,725	0.088	59.7%
TOTAL IMPERVIOUS	35,357	0.812	80.4%	32,109	0.751	74.4%
PERVIOUS AREA						
GREEN SPACE	8,643	0.192	19.6%	11,273	0.259	25.6%
TOTAL PERVIOUS	8,643	0.192	19.6%	11,273	0.259	25.6%

PARKING ANALYSIS:

REQUIRED PARKING:

USE	CSA	RATE	SPACES
RESTAURANT (DRIVE THRU)	1,107 SF.	1/ 50 CSA	23
OUTDOOR SEATING	241 SF.	1/ 50 CSA	5
TOTAL			28

PARKING PROVIDED:

STANDARD - 10'x20'	41
"PULL AHEAD" SPACES - 10'X20'	3
HANDICAP -12'x20'	4
<u>TOTAL</u>	<u>48</u>

ADA PARKING SPACES:

REQUIRED: 2 SPACES
PROVIDED: 4 SPACES

LOADING SPACES:

REQUIRED:
RESTAURANT - ONE (1) 40'x10' LOADING SPACE

PROVIDED:
RESTAURANT - ONE (1) 40'X10' LOADING SPACE

DRIVE-THRU STACKING:

REQUIRED:
8 SPACES TOTAL

PROVIDED:
10 SPACES TOTAL

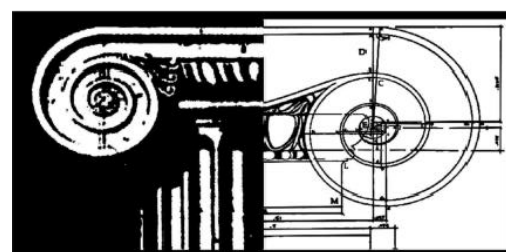
NOTES:

- 1) ALL MECHANICAL EQUIPMENT LOCATED ON THE ROOF OR GROUND WILL BE FULLY SCREENED BY PARAPETS OR EQUIPMENT SCREENS THAT ARE EQUAL IN HEIGHT OR TALLER THAN THE EQUIPMENT. THE EQUIPMENT WILL ALSO BE BUFFERED TO MITIGATE NOISE.
- 2) THE 2023 FLORIDA BUILDING CODE, ACCESSIBILITY, 8th EDITION HAS BEEN UTILIZED WITHIN THE AFFECTED AREA.
- 3) RESTAURANTS WITH DRIVE THRU ARE PERMITTED AS A SPECIAL EXEMPTION USE.

REVISIONS:

[illegible]

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 TAMPA, FLORIDA 33612

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CHIPOTLE MEXICAN GRILL
11 WESTON ROAD
SUNRISE, FLORIDA 33326

SITE PLAN

RYAN OSCAR THOMAS

PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 53891

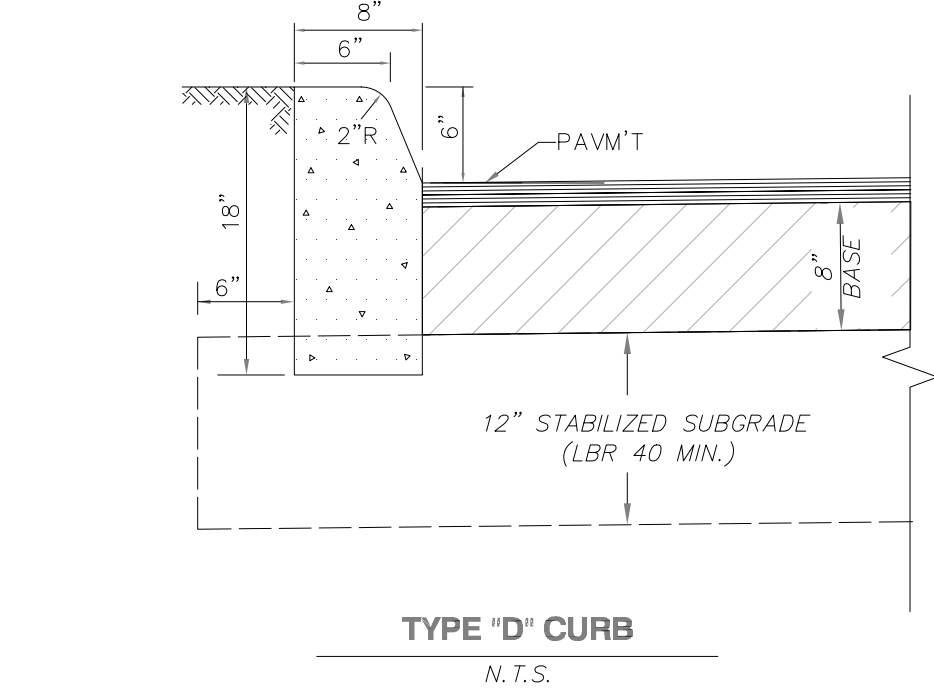
June 15, 2026

DATE:
03-24-2026

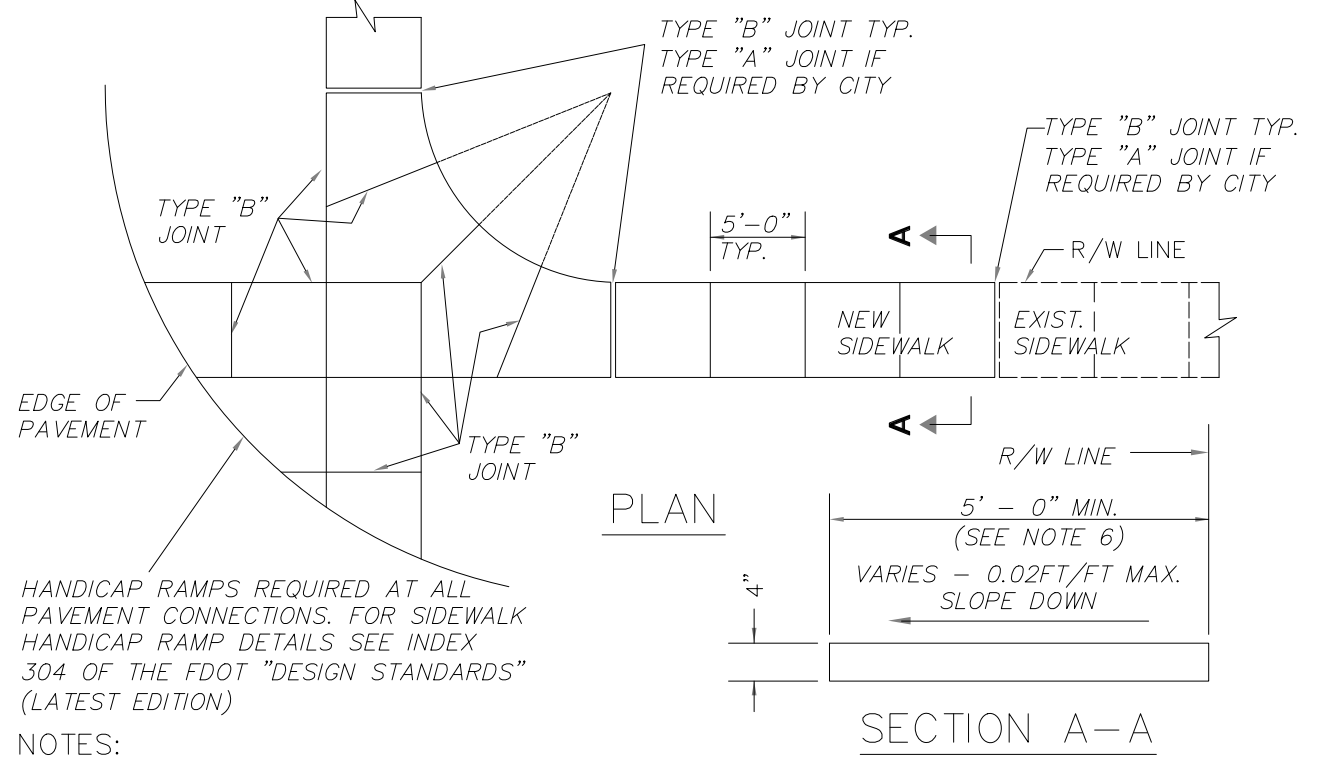
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CS-2.0

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- CURB NOTES:**
1. PROVIDE 1/4" WIDE CONTRACTION JOINT A MINIMUM OF 1-1/2" DEEP AND AT 10' SPACING MAXIMUM FOR ALL CURBS.
 2. CONCRETE SHALL BE 3000 P.S.I. MIN. @ 28 DAYS.
 3. TYPE "D" CURB FOR PARKING LOTS MAY BE INSTALLED AS "TRENCHED" D CURB WITH EXTRUDED TOP AT THE CONTRACTOR'S OPTION. TRENCHED CURB REQUIRES CITY TRENCH INSPECTION AND APPROVAL. EXTRUDED CURB MUST BE PLACED WITHIN 15 MINUTES OF PLACEMENT OF TRENCH CONCRETE. EXTRUDED CURB AND TRENCH CONCRETE SHALL BE MONOLITHIC.

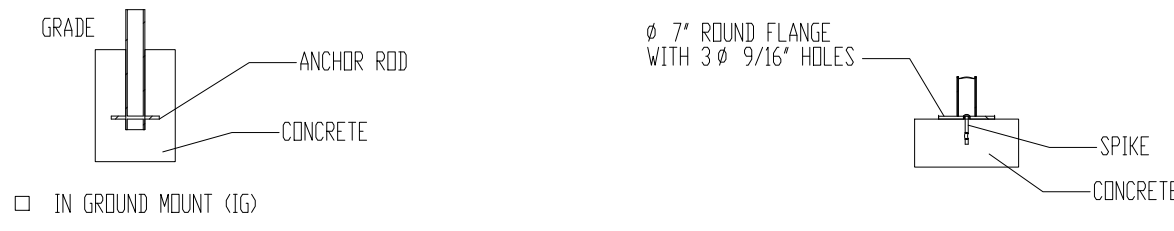
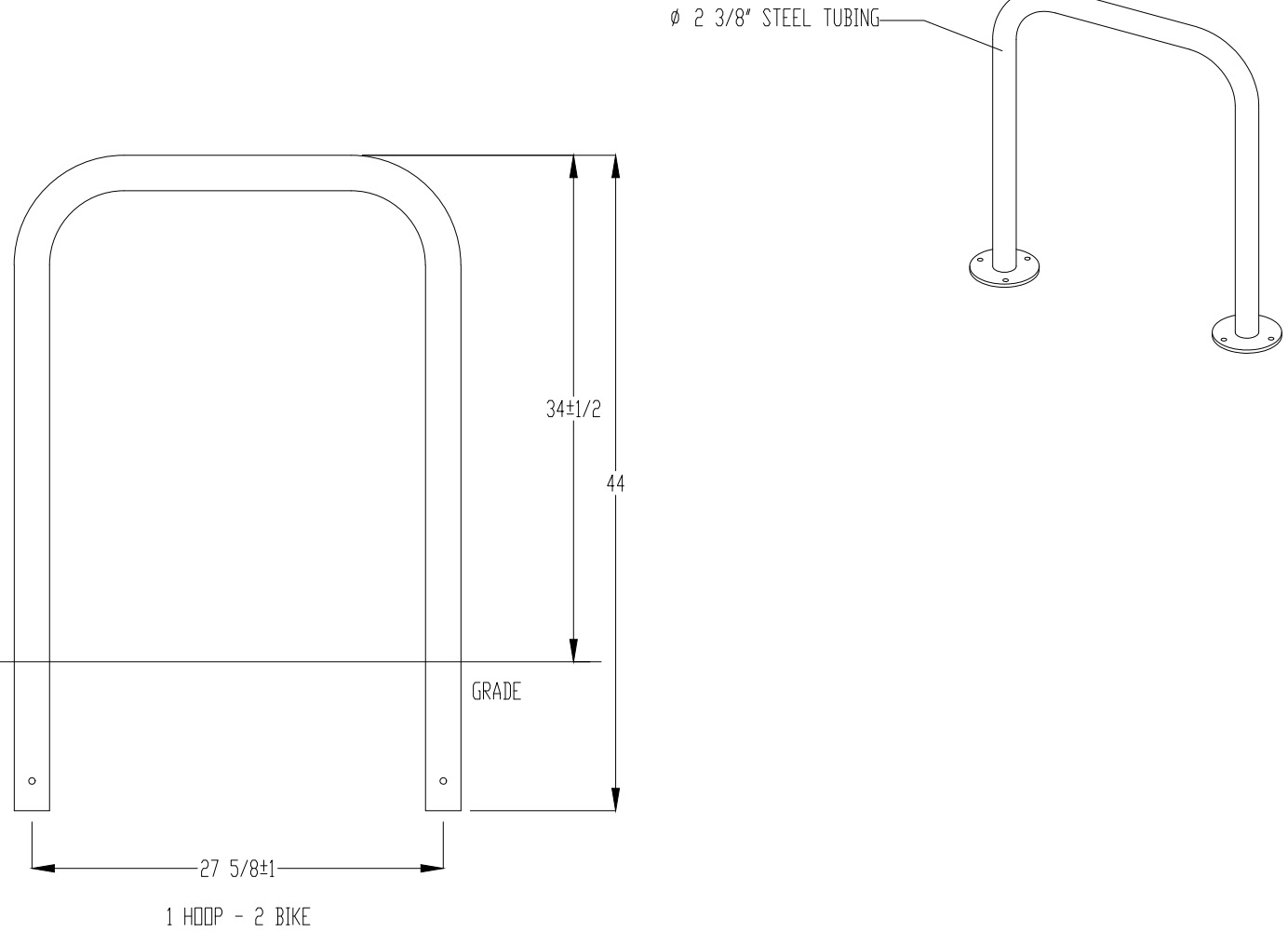


- NOTES:**
1. FOR NEW SIDEWALK LOCATIONS SUBGRADE BELOW SIDEWALK SHALL BE A MIN. L.B.R.-40 COMPACTED TO 98% OF MAX. DENSITY PER A.A.S.H.T.O. T-180.
 2. CONCRETE TO BE 3,000 P.S.I. @ 28 DAYS
 3. ALL JOINTS AND EDGES OF NEW SIDEWALK SHALL BE TOOLED. NO SAWCUT JOINTS ARE PERMITTED IN NEW SIDEWALK.
 4. THE USE OF WIRE MESH REINFORCEMENT IN SIDEWALK WILL NOT BE PERMITTED
 5. SIDEWALK SLOPES SHALL MEET THE REQUIREMENTS OF THE "AMERICAN WITH DISABILITIES ACT". CROSS SLOPES SHALL NOT EXCEED 0.02'/FT (2.0%).
 6. ALL SIDEWALKS SHALL BE 4" THICK EXCEPT AT DRIVEWAY CROSSINGS AND OTHER VEHICULAR CROSSING AREAS WHERE THE SIDEWALK SHALL BE A MINIMUM OF 6" THICK.
 7. MINIMUM WIDTH OF SIDEWALK PLACED AT BACK OF CURB IS 6'-0".
 8. FOR TYPE "A" EXPANSION JOINTS PRE-MOULDED EXPANSION MATERIAL IS NOT PERMITTED. EXPANSION JOINTS TO BE USED ONLY IF APPROVED BY THE ENGINEERING DIVISION AND SHALL BE SEALED WITH APPROVED FLEXIBLE RUBBERIZED CAULK.
 9. SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH.

TYPE	LOCATION
"A"	ONLY WHERE DIRECTED BY THE CITY
"B"	5'-0" MINIMUM CENTER TO CENTER ON SIDEWALK

MADRAX
BIKE RACK DETAIL

MADRAX DIVISION
GRABER MANUFACTURING, INC.
1880 LINCOLN DRIVE
WILMINGTON, VT 05357
PHONE: 448-7931, 648-8881
WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM



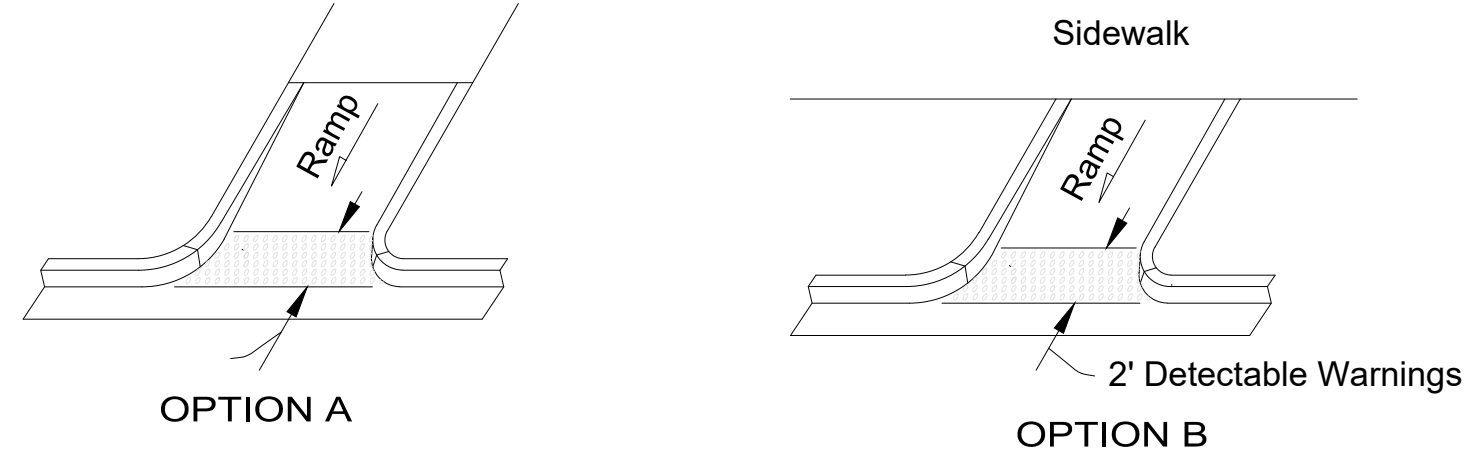
PRODUCT: QNS-2-IG(SF)
DESCRIPTION: GENESIS BIKE RACK
2 BIKE, SURFACE OR IN GROUND MOUNT
DATE: 10-16-18
ENG: SMC

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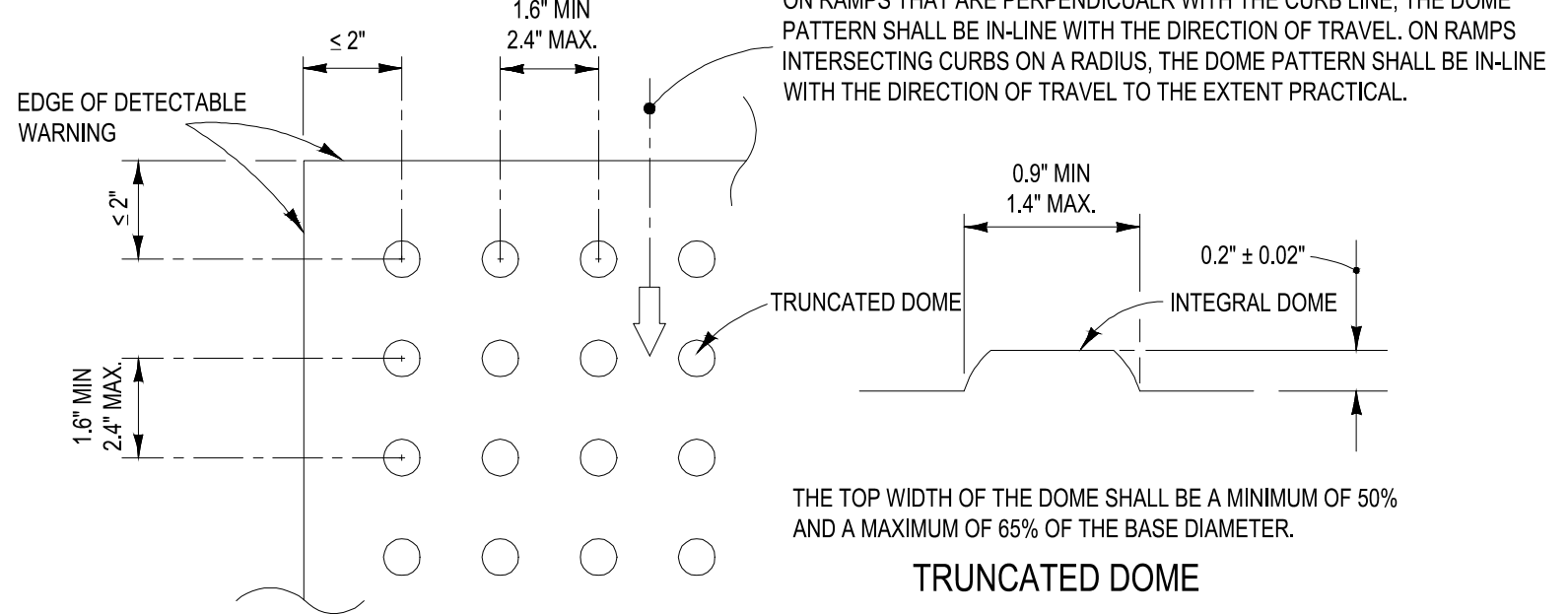
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- NOTES:**
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR & FINISH. SEE MANUFACTURER'S SPECIFICATIONS -- STEEL TUBE, BLACK POWDER COAT
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

NOT A CITY DETAIL

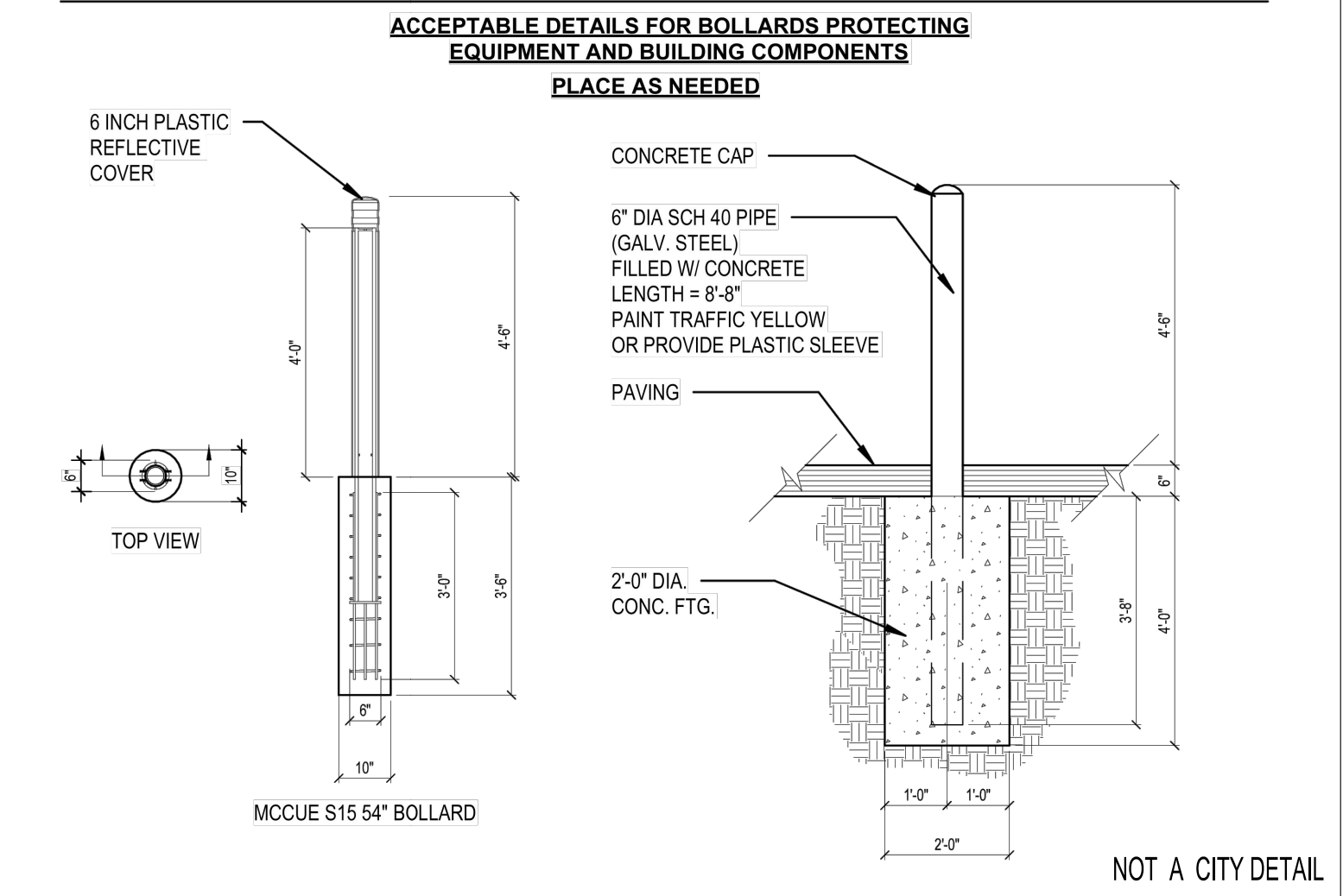


- NOTES:**
1. RAMPS SHALL BE CONSTRUCTED IN CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS AND FDOT INDEX 522-002, LATEST EDITIONS. SHALL A CONFLICT EXIST BETWEEN THE PLANS AND THE FDOT REQUIREMENTS THE MOST STRINGENT SHALL APPLY.
 2. WHERE REQUIRED, DETECTABLE WARNING SURFACES SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A BOTTOM DIAMETER OF NOMINAL 9.0 INCH AND A TOP DIAMETER OF 0.4 INCH. A HEIGHT OF 0.2 INCH AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCH AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT ON DARK OR DARK ON LIGHT. (SEE DETAIL)
 3. SIDEWALK SHALL BE 4" THICK EXCEPT IN DRIVEWAYS WHERE THE THICKNESS SHALL BE 6", UNLESS OTHERWISE NOTED ON THE PLANS.
 4. SUBGRADE BELOW SIDEWALK SHALL BE COMPACTED TO 98% OF MAX. DENSITY PER A.A.S.H.T.O. T-99C.
 5. CONCRETE STRENGTH SHALL BE MIN. 3000 PSI @ 28 DAYS.
 6. WHERE REQUIRED, SIDEWALK REMOVAL & REPLACEMENTS TO CONSIST OF FULL FLAGS.
 7. PROVIDE EXPANSION JOINT (TYPE 'A') AT CONNECTIONS BETWEEN NEW AND EXISTING SIDEWALK.
 8. ALL CURB RAMPS TO BE OF CONTRASTING SURFACE, IN LIEU OF PROVIDING HANDRAILS ON BOTH SIDES, PER SECTION 1003.5 FBC 2020



ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24 INCHES (610 mm) FROM THE BACK OF CURB WITHIN FDOT ROW'S AND 36 INCHES (914.4 mm) FROM THE BACK OF CURB AT ALL OTHER LOCATIONS.

NOT A CITY DETAIL

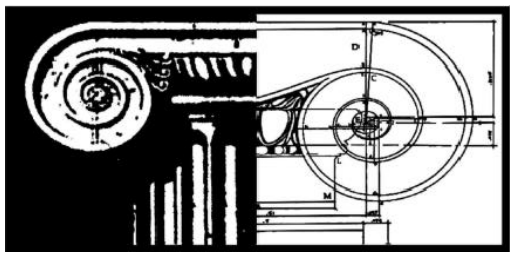


NOT A CITY DETAIL

NOT A CITY DETAIL

2 ADA SIDEWALK RAMP DETAIL - FDOT CR-E
SCALE: NONE

3 ADA RAMP DETECTABLE WARNING DETAIL
SCALE: NONE



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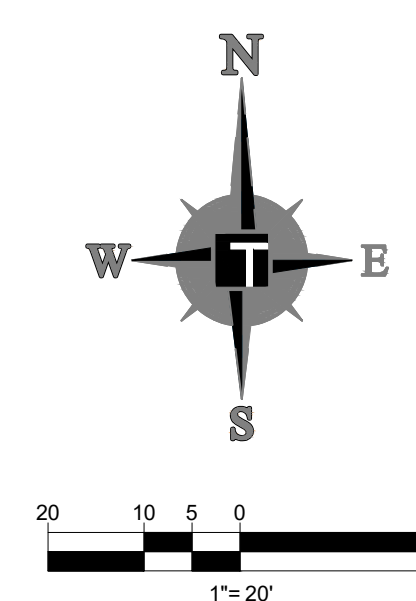
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840 SE OSCEOLA ST. SUITE 101 STUART, FLORIDA 34994

CHIPOTLE MEXICAN GRILL
11 WESTON ROAD
SUNRISE, FLORIDA 33326

SITE DETAILS

SEAL
RYAN OSCAR THOMAS
PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 52881
JUNE 15, 2026
FLORIDA BUSINESS CERT. OF AUTH. NO. 27528

DATE
03-24-2026
DRAWING NO.
CS-3.0

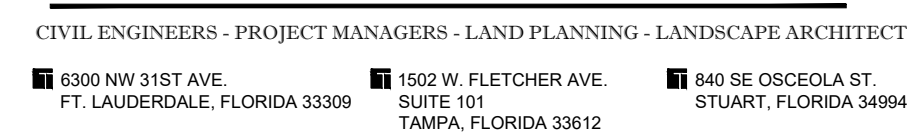


LEGEND

- | | |
|---|---------------------|
|  | PARKING COUNT |
|  | SITE TRAFFIC FLOW |
|  | EXISTING LIGHT POLE |
|  | PROPOSED LIGHT POLE |
|  | EXISTING SIGN |
|  | PROPOSED SIGN |

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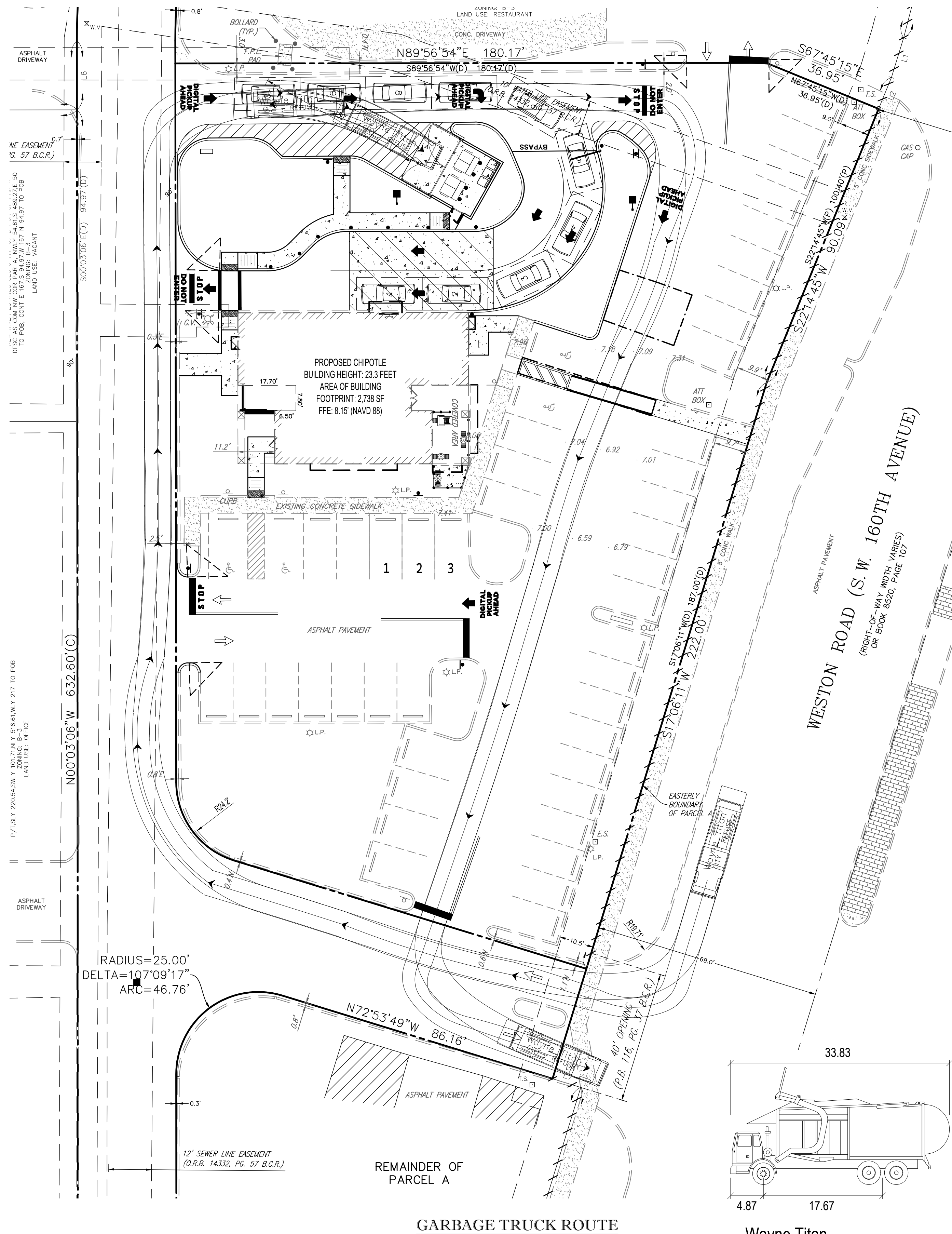
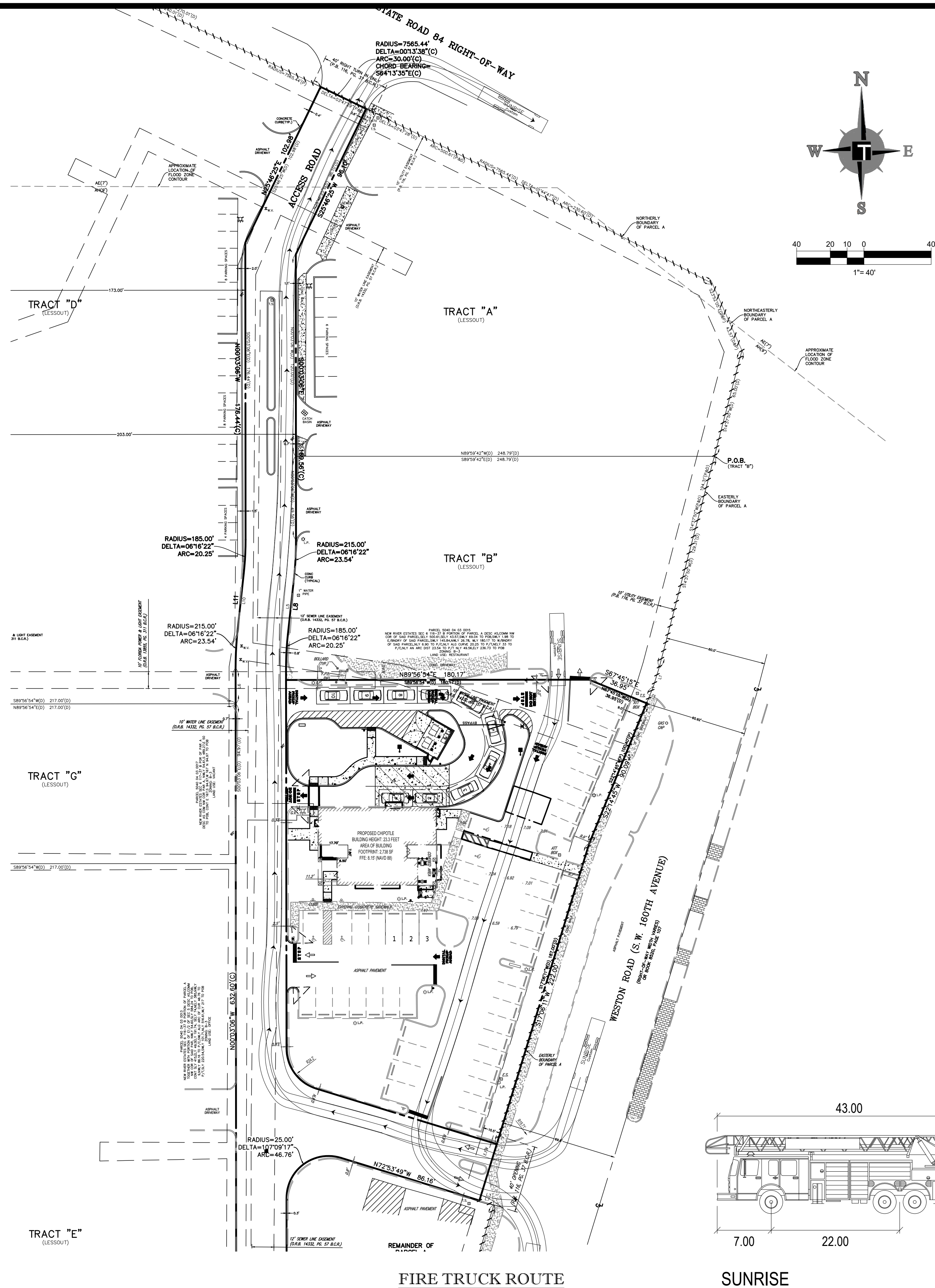
PAVEMENT MARKING & SIGNAGE PLAN

PROFESSIONAL ENGINEER
FLORIDA LICENSE No. 53891

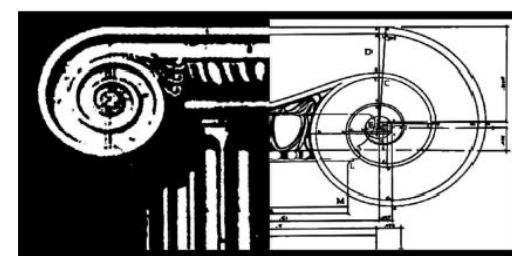
June 15, 2026
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

DRAWING NO.

CS-4.0

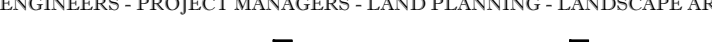
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FLORIDA BUSINESS CERT. OF AUTH. No.



The logo features the word "IHOMAS" in a large, bold, sans-serif font. The letter "I" is stylized as a thick vertical bar. Below "IHOMAS" is the phrase "ENGINEERING GROUP" in a smaller, all-caps, sans-serif font, underlined by a horizontal line.

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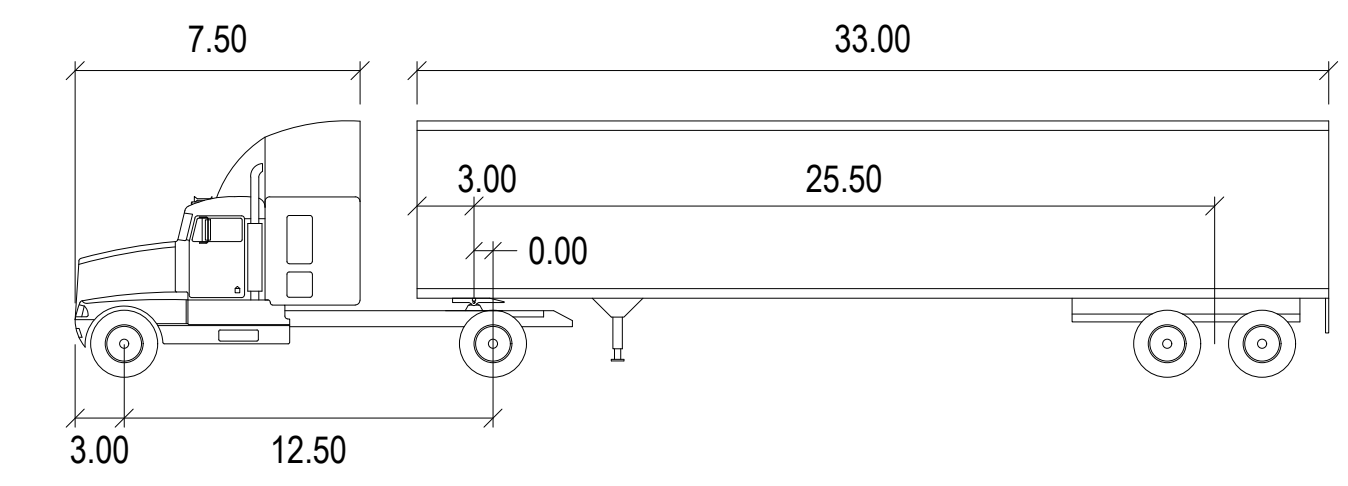
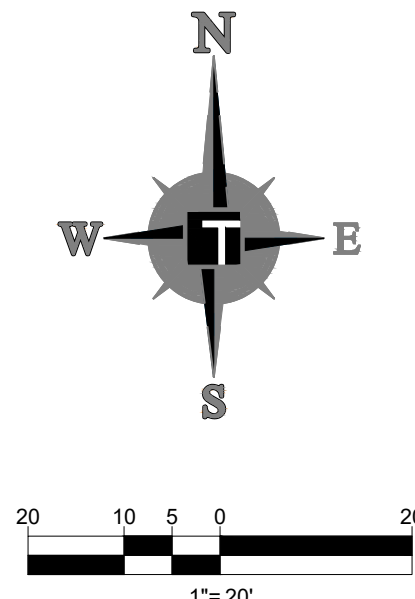
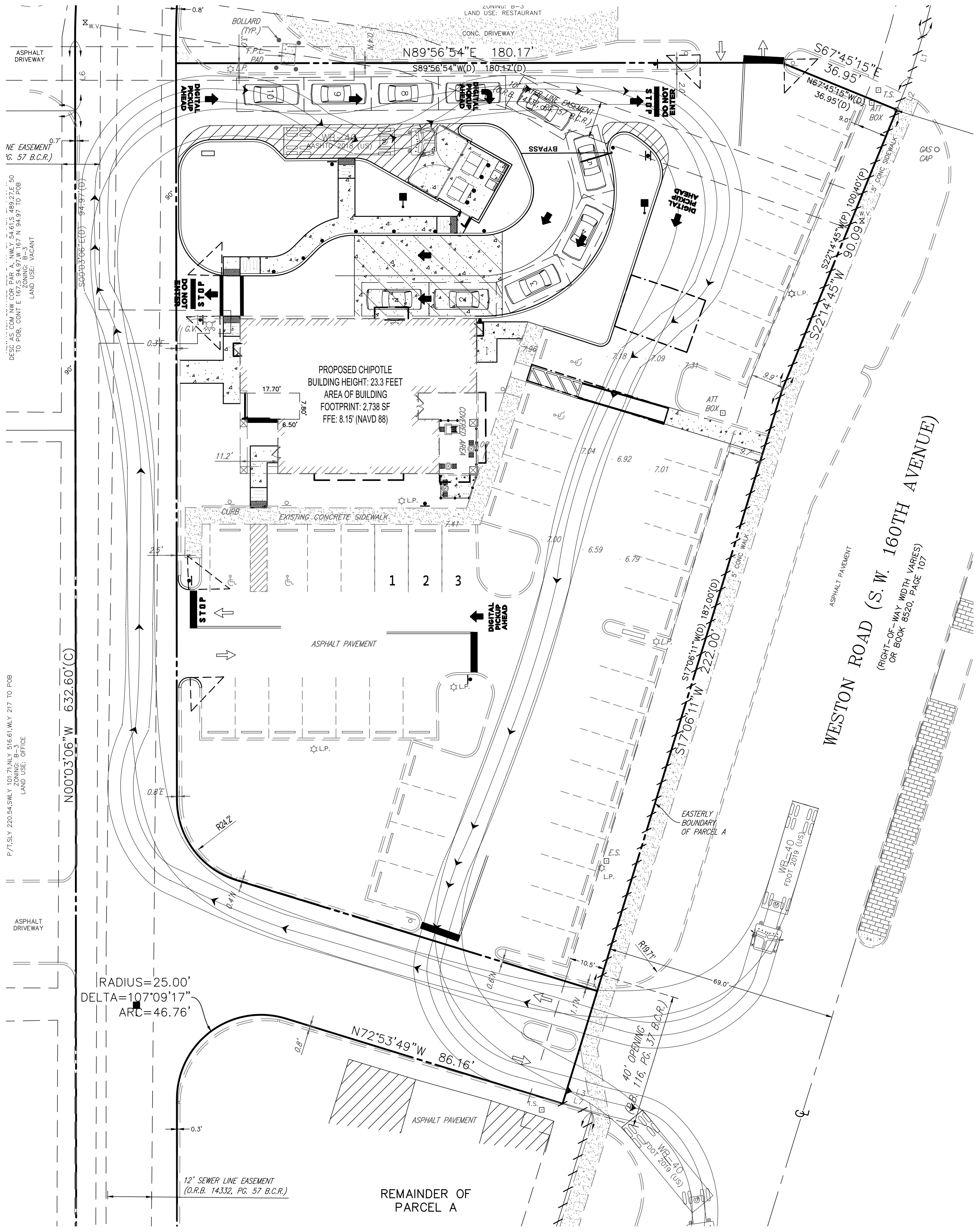
CHIPOTLE MEXICAN GRILL
11 WESTON ROAD
SUNRISE, FLORIDA 33326

CIRCULATION PLAN

SEAL	DATE:
RYAN OSCAR THOMAS	03-24-2026
PROFESSIONAL ENGINEER FLORIDA LICENSE NO. 53891	DRAWING NO.
June 15, 2026 FLORIDA BUSINESS CORP., C of AUTH. NO. 275238	CS-5.0

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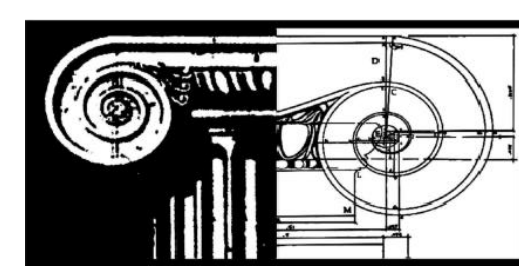
Project: Chipotle Mexican Grill, 11 Weston Road, Sunrise, FL 33326
Drawing: CIVIL, 03-24-2026, 11:49 AM, R. Thomas
G:\MAPLEWOOD\COMMUNITIES\220032 - 11 WESTON ROAD, SUNRISE, FL\WDO SITE PLAN SUBMITTAL\220032-CIRCULATION-----LAYOUT-010.dwg



WB-40	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 20.3
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.00		

REVISIONS:			
REV:	DATE:	COMMENT:	BY:

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P (954) 927-3690 F (954) 367-3494

FLORIDA BUSINESS CERT. OF AUTH. No. 27528

CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

8300 NW 31ST AVE. SUITE 101 840 SE OSCEOLA ST. SUITE 101
FT. LAUDERDALE, FLORIDA 33309 TAMPA, FLORIDA 33612

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CHIPOTLE MEXICAN GRILL
11 WESTON ROAD
SUNRISE, FLORIDA 33326

CIRCULATION PLAN

SEAL

RYAN OSCAR THOMAS

PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 52881

JUNE 15, 2026
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

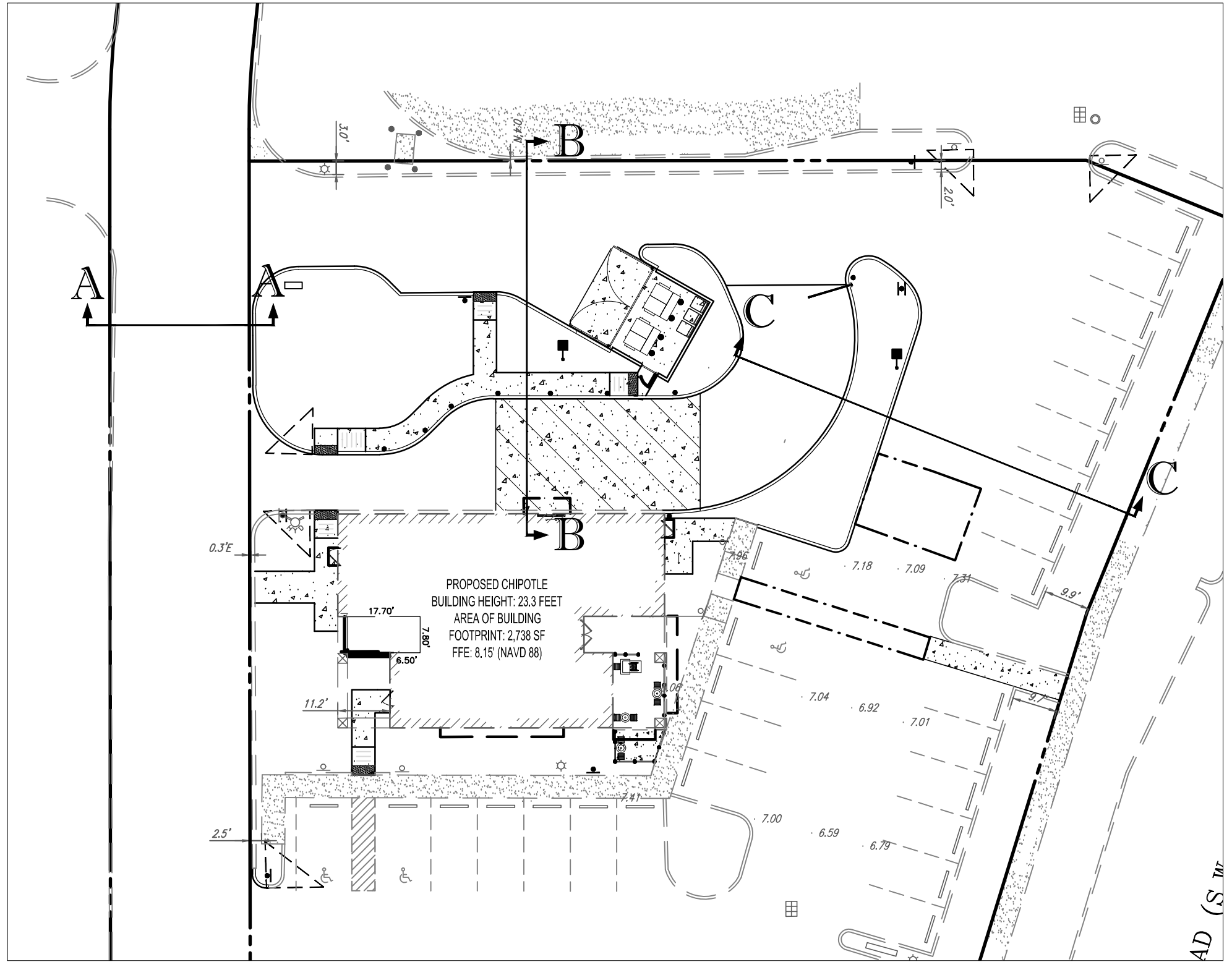
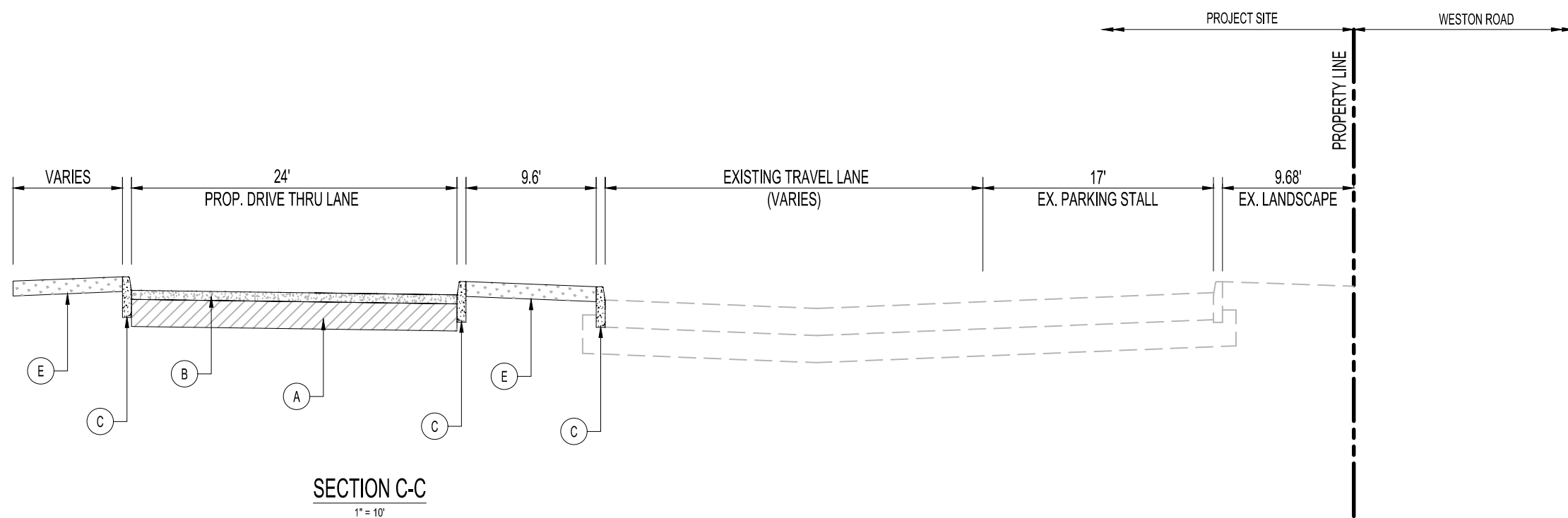
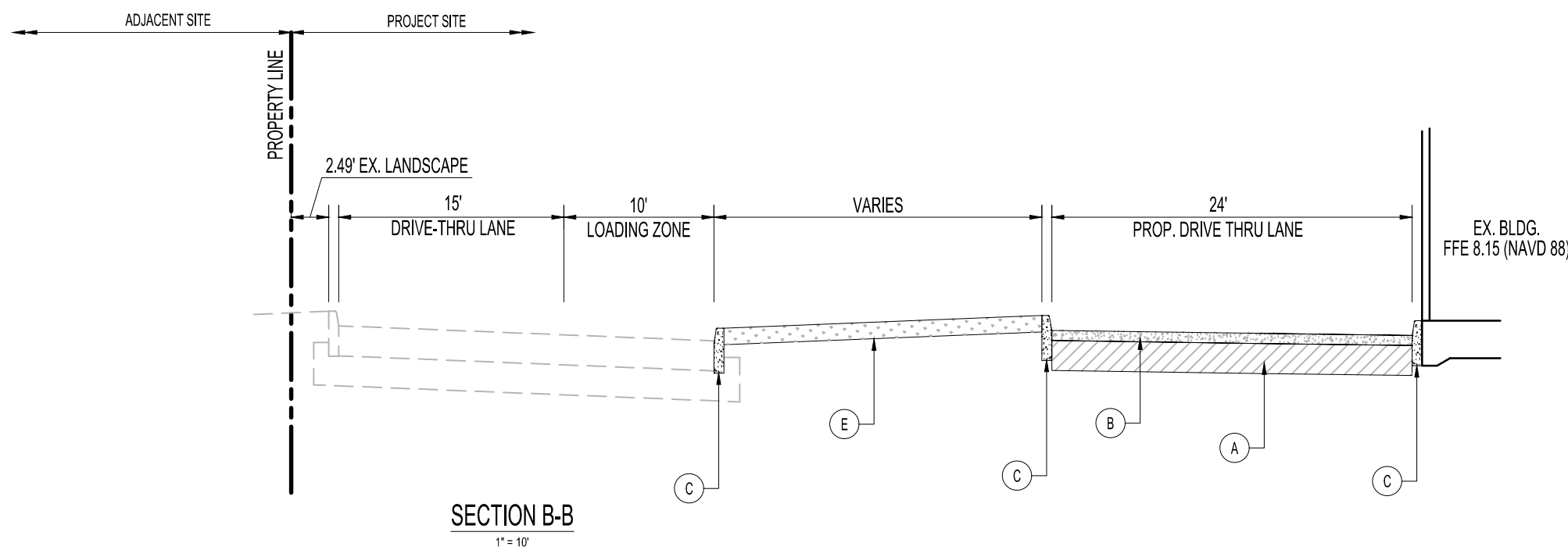
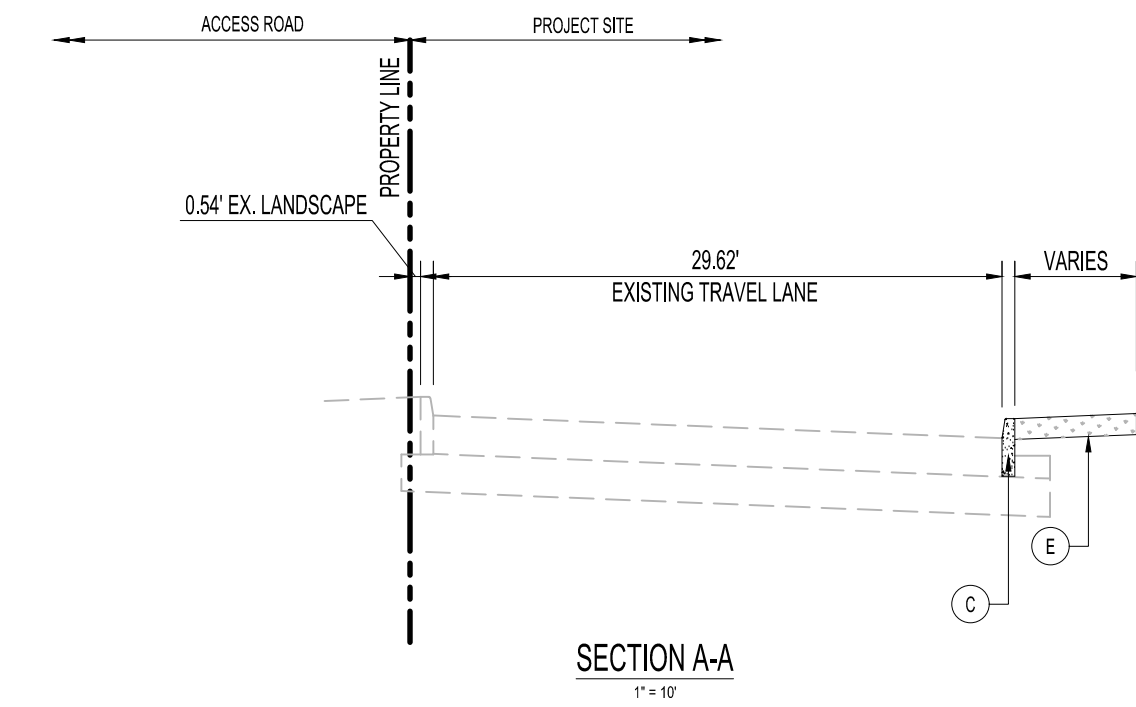
DATE:

03-24-2026

DRAWING NO.

CS-5.1

RYAN O. THOMAS, STATE OF FLORIDA - PROFESSIONAL ENGINEER LICENSE NO. 52881. THIS PLAN HAS BEEN DIGITALLY SIGNED AND SEALED BY RYAN O. THOMAS, P.E. ON 6/15/2026. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED VALID FOR ANY PURPOSES AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



KEY MAP

LEGEND

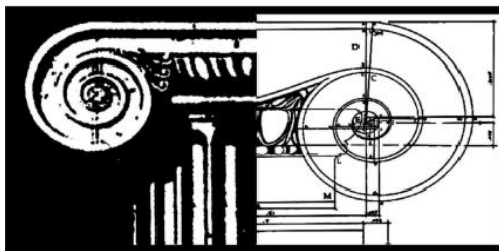
- (A) SUB-BASE: MINIMUM 12" STABILIZED SUB-BASE COMPACTED TO 98% OF MAX. DRY DENSITY PER AASHTO T-180 (MIN LBR 40).
- (B) CONCRETE PAVEMENT 6" THICK 4,000 P.S.I. CONCRETE @ 28 DAYS WITH FIBER MESH REINFORCEMENT.
- (C) TYPE 'D' CURB PER FDOT STANDARD PLANS 520-001
- (D) LANDSCAPE AREA - SEE LANDSCAPE PLAN.

PAVEMENT NOTES:

- THE FULL DEPTH OF ALL EXISTING ORGANIC AND DELETERIOUS MATERIAL WITHIN THE ROADWAYS, RIGHT-OF-WAYS AND UTILITY/DRAINAGE EASEMENTS SHALL BE REMOVED. NO MATERIAL OF FDOT CLASS A-5, A-7 OR A-8 SHALL BE ALLOWED.
- ALL MATERIAL SUPPORTING THE ROADWAY AND SHOULDERS SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (L.B.R.) OF 40. THE SUBGRADE SHALL BE 12" COMPACTED TO 98% OF MAXIMUM DRY DENSITY AS PER AASHTO T-180. THE ENGINEER AND COUNTY INSPECTOR WILL DETERMINE THE LOCATION AND NUMBER OF DENSITY TESTINGS, WHICH SHALL BE APPROXIMATELY ONE DENSITY FOR EVERY 7000 SQUARE FEET OF ROAD.
- LIMEROCK BASE SHALL BE 8" PRIMED AND SHALL HAVE A MINIMUM LIMEROCK BEARING RATE (LBR) OF 100. SHALL BE OF THE MIAMI FORMATION, HAVING A MINIMUM PERCENTAGE OF CARBONATES OF CALCIUM AND MAGNESIUM OF 60. UNLESS OTHERWISE APPROVED, BASE MATERIAL SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 98% OF MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-180 UNDER ALL PAVED AREAS.
- BASE COURSE CONSTRUCTION SHALL NOT BE STARTED UNTIL ALL UNDERGROUND CONSTRUCTION IN THE VICINITY HAS BEEN INSTALLED, TESTED AND ACCEPTED.
- PRIME AND TACK COAT FOR BASE SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF SECTIONS 300-1 THROUGH 300-7 OF F.D.O.T. STANDARDS SPECIFICATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD.
- APPLY TACK COAT BETWEEN PAVING COURSES AS PER F.D.O.T. MINIMUM STANDARDS (0.05 GAL/SYD).
- ALL GRADES SHOWN ARE FINISH ASPHALT PAVEMENT GRADES (2ND LIFT) UNLESS OTHERWISE NOTED.
- ALL REPAIRS TO EXISTING PAVEMENT SHALL RECEIVE SAW-CUT EDGES PRIOR TO RELAYING ASPHALT. UTILITY PIPING OR WIRING LESS THAN FOUR (4) INCHES IN DIAMETER REQUIRES A SCHEDULE 40 PVC CASING PIPE WITH SAND BACKFILLS UNDER PAVED AREAS ONLY.
- ALL EXISTING CONTROL POINTS AND/OR REFERENCE MARKERS SHALL BE RAISED TO FINAL GRADE. THESE POINTS AND REFERENCE MARKERS SHALL BE LOCATED AND NOTED ON THE PLAN.
- LABORATORY PROCTOR COMPACTION TEST (T-180) SHALL BE PERFORMED ON ALL MATERIAL SUBGRADE AND BASE AND ANY SUBSEQUENT CHANGES IN MATERIALS. LIMEROCK BEARING RATIOS, SIEVE ANALYSIS AND DENSITIES REQUIRED BY THE CONTRACT DOCUMENTS SHALL BE SUBMITTED TO THE ENGINEER-OF-RECORD.

REVISIONS:			
REV:	DATE:	COMMENT:	BY:

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**STEFANO DE LUCA
& ASSOCIATES, INC.**
ARCHITECTURE & DESIGN
4501 Pierce Street
Hollywood, FL 33021
P (954) 927-2690 F (954) 367-3494

FLORIDA BUSINESS CERT. OF AUTH. No. 27528

THOMAS
ENGINEERING GROUP

CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS
OFFICES:
■ 6300 NW 31ST AVE., FT. LAUDERDALE, FLORIDA 33309 ■ 1502 W. FLETCHER AVE., SUITE 101, TAMPA, FLORIDA 33612 ■ 840 SE OSCEOLA ST., STUART, FLORIDA 34994

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CHIPOTLE MEXICAN GRILL
11 WESTON ROAD
SUNRISE, FLORIDA 33326

CROSS SECTIONS

SEAL
RYAN OSCAR THOMAS
PROFESSIONAL ENGINEER
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DATE:
03-24-2026

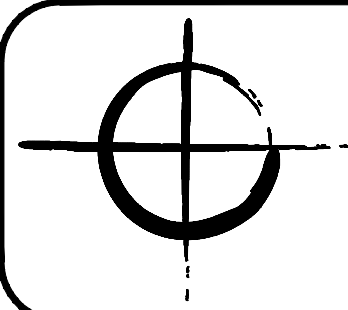
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PD-2.0

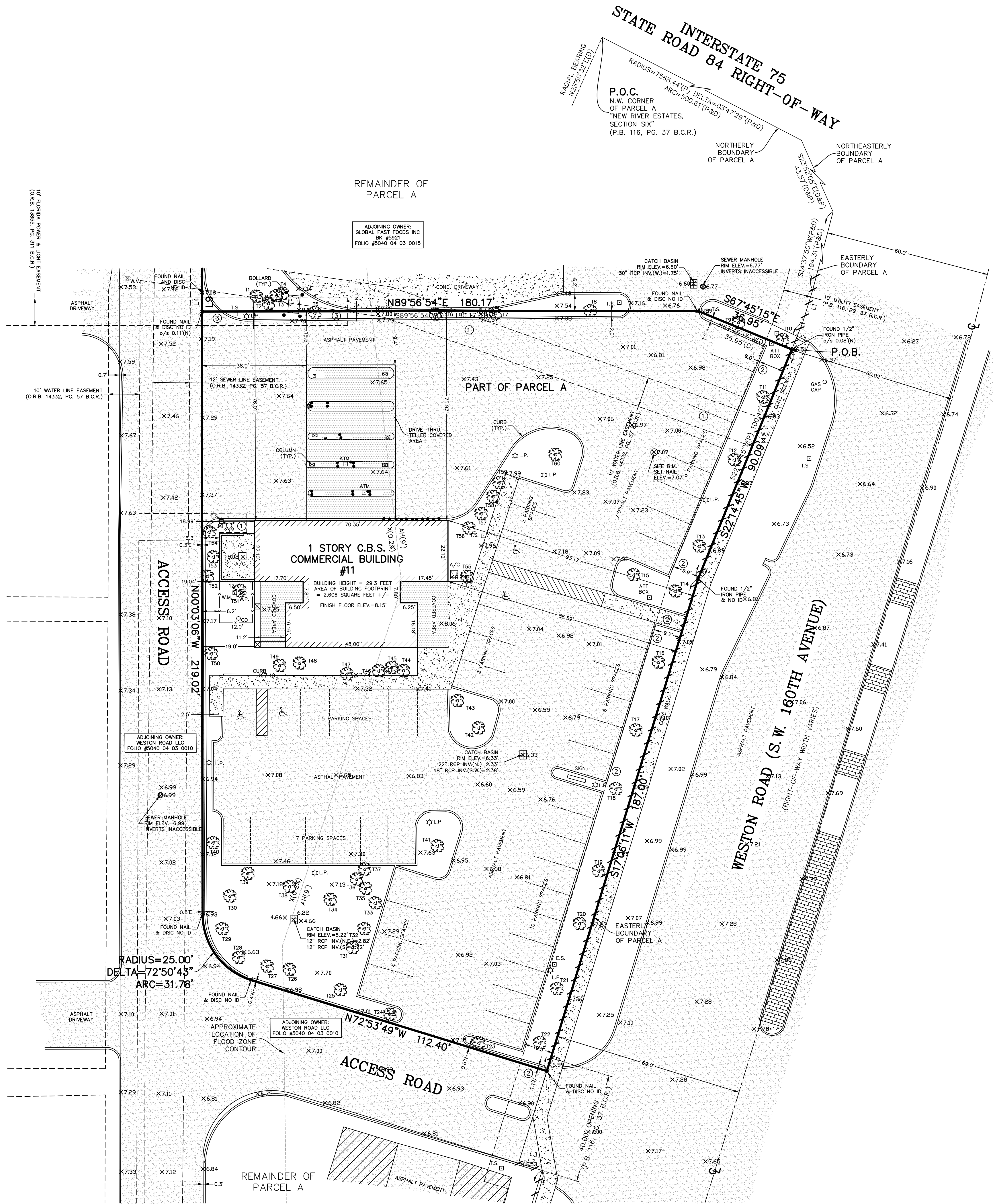


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THIS SURVEY IS COMPRISED OF TWO SHEETS AND ONE IS NOT FULL AND COMPLETE WITHOUT THE OTHER



PINNELL SURVEY, INC.
PROFESSIONAL SURVEYORS AND MAPPERS
5300 WEST HILLSBORO BOULEVARD, SUITE 215-A
COCONUT CREEK, FLORIDA 33073
PHONE: (954)418-4940 FAX: (954)418-4941
LICENSED BUSINESS #6857



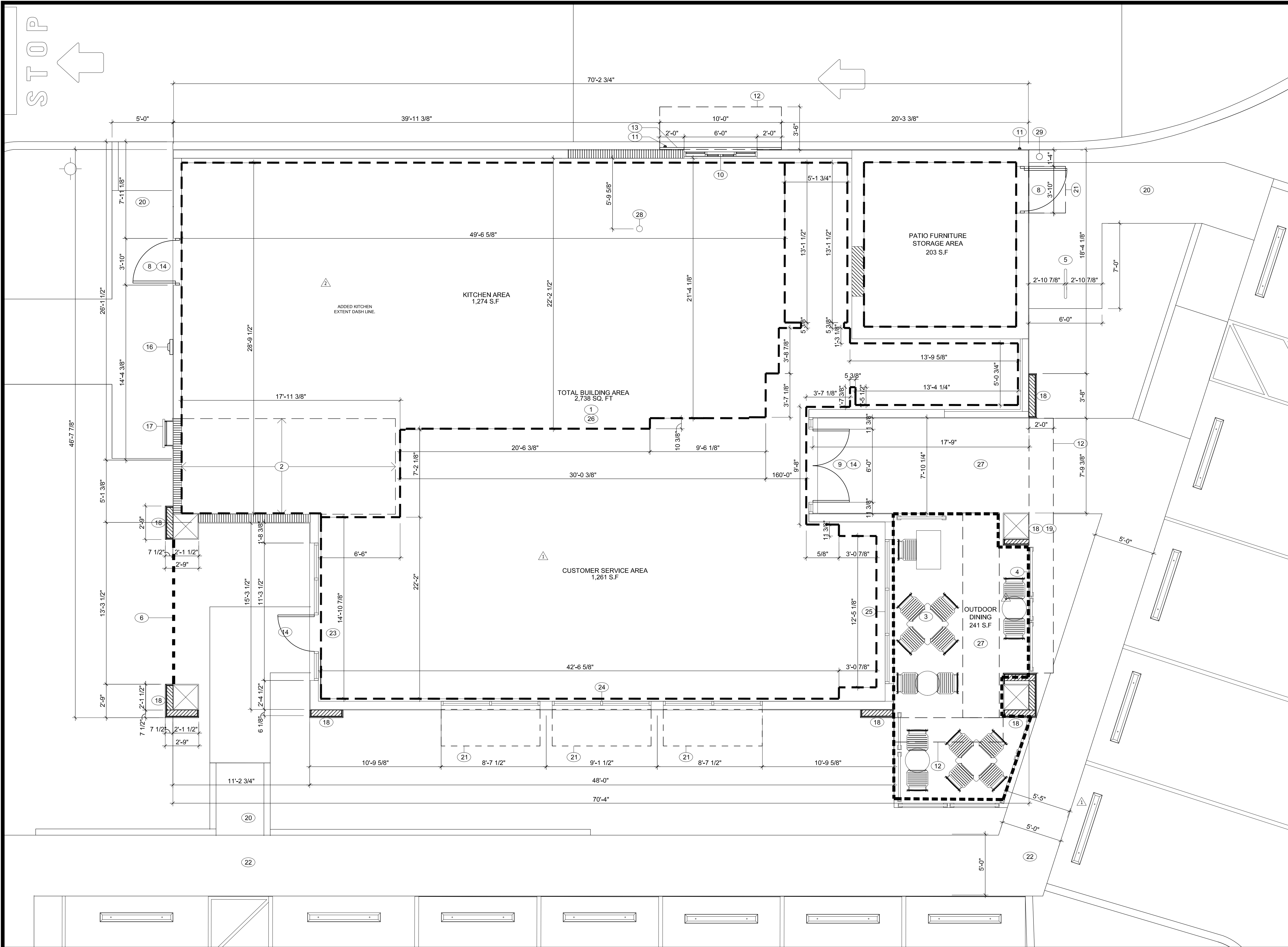
TREE SCHEDULE

TREE	DBH (INCHES)	DESCRIPTION
T1	13	OAK
T2	3	PALM
T3	14	PALM
T4	10	OAK
T5	10	OAK
T6	3	OAK
T7	22	OAK
T8	11	OAK
T9	36	OAK
T10	23	OAK
T11	33	OAK
T12	10	OAK
T13	23	OAK
T14	26	OAK
T15	16	OAK
T16	18	OAK
T17	22	OAK
T18	23	OAK
T19	14	OAK
T20	12	OAK
T21	15	OAK
T22	19	PALM
T23	6	PALM
T24	6	PALM
T25	11	OAK
T26	4	OAK
T27	4	OAK
T28	5	OAK
T29	30	OAK
T30	4	OAK
T31	6	OAK
T32	18	PALM
T33	8	PALM
T34	9	OAK
T35	6	PALM
T36	20	OAK
T37	32	OAK
T38	6	OAK
T39	30	OAK
T40	16	OAK
T41	10	OAK
T42	13	OAK
T43	19	OAK
T44	9	PALM
T45	10	PALM
T46	10	PALM
T47	13	OAK
T48	4	PALM
T49	3	OAK
T50	6	OAK
T51	4	PALM
T52	10	PALM
T53	12	PALM
T54	10	PALM
T55	4	PALM
T56	10	PALM
T57	9	PALM
T58	10	PALM
T59	8	PALM
T60	18	OAK

NOTE: DBH REPRESENTS DIAMETER AT BREAST HEIGHT
NOTE: TREE DESCRIPTIONS ARE GENERAL
IN NATURE AND SHOULD BE VERIFIED

LINE DATA:

L1: S17°06'11"W 12.67'
L2: S22°14'45"W 10.31'

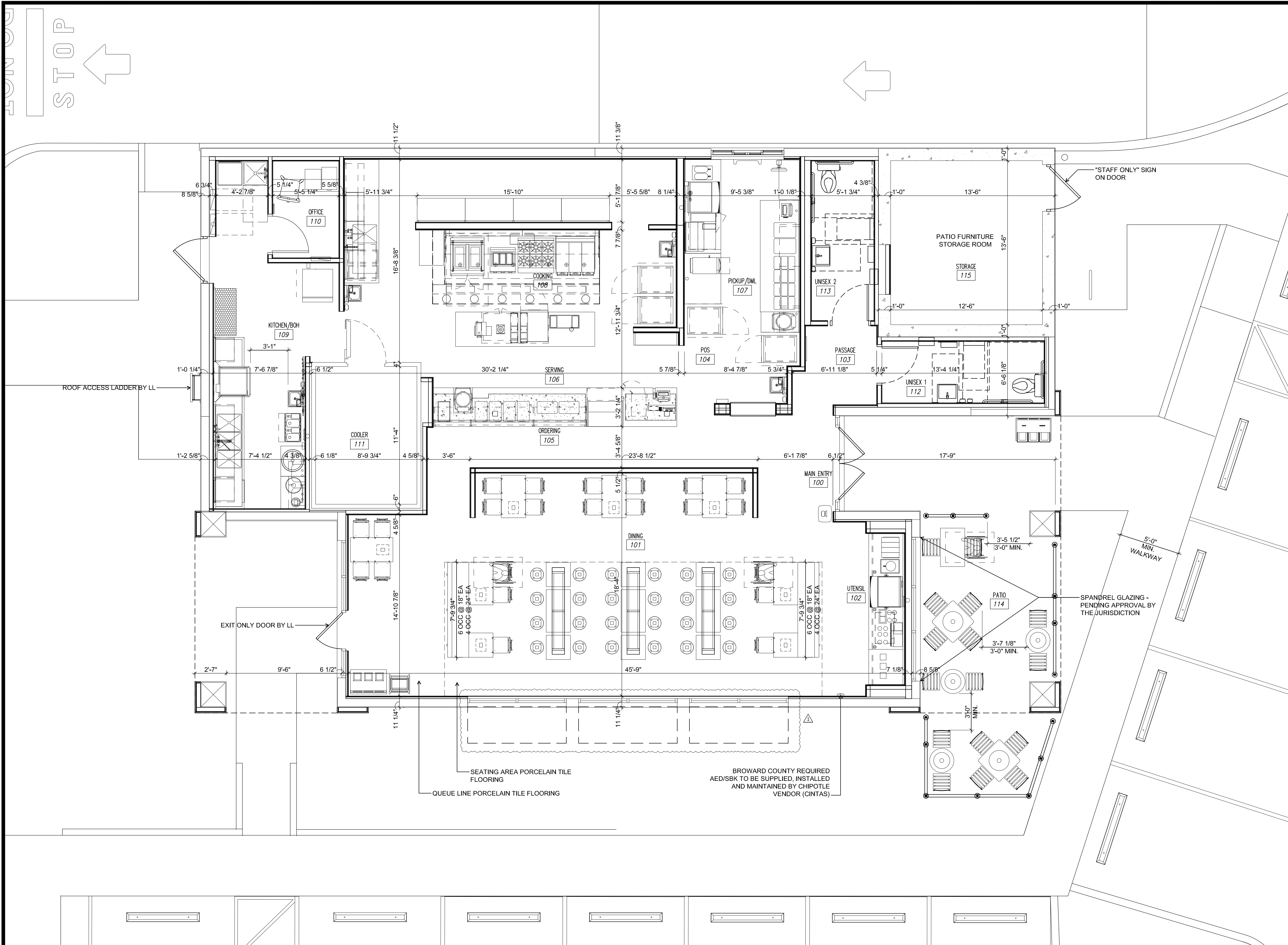


- ### FLOOR PLAN KEY
- (X) KEY NOTES, THIS SHEET.
 - NEW 8" REINFORCED CMU.
 - EXISTING 8" REINFORCED CMU.
 - NEW FRAMING 4" AND 6".
- ### FLOOR PLAN NOTES
- EXISTING BUILDING = 2,806 S.F. NEW ADDITION = 132 S.F. TOTAL BUILDING S.F. = 2,738.
 - NEW ADDITION: 132 S.F. NEW ADDITION FALLS WITHIN THE EXISTING ROOF LINE.
 - OUTDOOR DINING AREA: 241 S.F. THE OUTDOOR DINING AREA WILL BE LOCATED WITHIN THE EXISTING CONCRETE SLAB.
 - THE 36" HIGH RAILING IS SHOWN FOR REFERENCE ONLY AND WILL BE PROVIDED SEPARATELY AS PART OF THE REQUIRED OUTDOOR RESTAURANT SEATING APPLICATION. SEE SHEET A-7, DETAILS 1-4 FOR RAILING INFORMATION.
 - MADRAX GENESIS GEN-2 (2 BIKE) BLACK POWDER COAT FINISH.
 - DASHED LINE REPRESENTS THE WEST ELEVATION SET BACK LOCATION. PER THE CITY OF SUNRISE CODE OF ORDINANCES, SUBPART B, LAND DEVELOPMENT CODE, CH 16, ART. VI, SEC. 16-140 (2) REQUIRES SUBSTANTIAL WALL ARTICULATION SUCH AS PROJECTING RIBS, COLUMNS, REVEALS AND OFFSETS TO AVOID THE EFFECT OF A SINGLE LONG OR MASSIVE WALL. TO ADDRESS THESE REQUIREMENTS, WE CREATED A BUMP OUT AT THE SOUTHWEST CORNER THAT PROJECTS INTO THE SETBACK AND THE NEW ARCHITECTURAL EMBELLISHMENTS THAT WE ARE PROPOSING WILL ALSO PROJECT INTO THE SETBACK. ANY MATERIAL OR SURFACE OFFSETS WILL RESULT IN AN ENCROACHMENT. THE REQUIRED SETBACK IS 19'-0". THE EXISTING BUILDING IS CURRENTLY ENCROACHING INTO THE SETBACK BY 3/4". THE OFFSET (TOWER) AT THE SOUTHWEST CORNER ENCROACHES BY 8 1/4" DUE TO THE NEED FOR FRAMING THAT WILL ALLOW A SUFFICIENT OFFSET TO CREATE A GOOD SHADOW LINE AND TO ALLOW A SUFFICIENT DEPTH TO MEET THE HIGH VELOCITY HURRICANE ZONE PRESSURES. THE NEW OFFSET THAT IS LOCATED AT THE KITCHEN DOOR WILL ENCROACH APPROXIMATELY 4".
 - NEW 42" IMPACT RATED HOLLOW METAL DOOR. PROVIDED WITH 10" HIGH CONTRASTING NUMBER FOR ADDRESS.
 - NEW IMPACT RATED PAIR OF STOREFRONT DOORS AND SIDELITES, PROVIDED WITH 10" HIGH CONTRASTING NUMBER FOR ADDRESS.
 - NEW IMPACT RATED PICK-UP WINDOW FOR DRIVE-THRU CUSTOMERS. PICK-UP WINDOW IS ONLY FOR ONLINE ORDERS WITH ONLINE PAYMENT.
 - FUTURE SECURITY CAMERA BY CHIPOTLE.
 - NEW PRE-FAB METAL CANOPY. CANOPY WILL INCLUDE RECESSED LED LIGHT FIXTURES (3000K) REFER TO SHEET A-6, DETAILS 6-7 & SHEET A-10 FOR LIGHTING INFORMATION.
 - NEW METAL PANELS.
 - 10" HIGH CONTRASTING NUMBERS ON DOOR FOR ADDRESS IDENTIFICATION.
 - NOT USED.
 - NEW ELECTRIC METER & DISCONNECT.
 - NEW STEEL ROOF ACCESS WITH LOCKABLE GATE.
 - NEW TOWER BUMPOUTS.
 - NEW 10" HIGH METAL CONTRASTING COLOR NUMBERS ON THE WALL FOR ADDRESS IDENTIFICATION (CITY OF SUNRISE CODE OF ORDINANCES SECTION 16-249).
 - NEW CONCRETE WALK. REFER TO CIVIL SITE PLAN.
 - NEW FABRIC AWNING.
 - EXISTING CONCRETE WALKWAY.
 - NEW IMPACT RATED STOREFRONT WINDOWS AND DOOR IN "ORIGINAL OPENING". PROVIDED WITH 10" HIGH CONTRASTING NUMBER FOR ADDRESS.
 - NEW IMPACT RATED STOREFRONT WINDOW IN AN ORIGINAL OPENING.
 - NEW IMPACT RATED STOREFRONT WINDOW WITH SPANDREL GLASS (OPAQUE).
 - ALL MECHANICAL EQUIPMENT LOCATED ON THE ROOF OR GROUND WILL BE FULLY SCREENED BY PARAPETS OR EQUIPMENT SCREENS THAT ARE EQUAL IN HEIGHT OR TALLER THAN THE EQUIPMENT. THE EQUIPMENT WILL ALSO BE BUFFERED TO MITIGATE NOISE.
 - DEMO EXISTING CONCRETE SLAB AT ENTRY AND ENTIRE COVERED AREA. REPLACE WITH NEW CONCRETE SLAB WITH SMOOTH FINISH.
 - 6" STORM DRAIN WATER LEADER.
 - NEW STEEL BOLLARD PAINTED SAFETY YELLOW.

1 PARTIAL SITE PLAN / FLOORPLAN

SCALE: 1/4" = 1'-0"

 STEFANO DE LUCA & ASSOCIATES, INC. ARCHITECTURE & DESIGN 4501 Pierce Street Hollywood, FL 33021 P (954) 927-2890 F (954) 307-3494	ISSUE RECORD: <table><tr><td>10.30.25</td><td>SITE PLAN AMENDMENT</td></tr><tr><td>03.17.26</td><td>SITE PLAN AMENDMENT - SECOND SUBMITTAL</td></tr><tr><td>06.05.26</td><td>SITE PLAN AMENDMENT - THIRD SUBMITTAL</td></tr><tr><td>07.31.26</td><td>SITE PLAN AMENDMENT - FOURTH SUBMITTAL</td></tr></table>	10.30.25	SITE PLAN AMENDMENT	03.17.26	SITE PLAN AMENDMENT - SECOND SUBMITTAL	06.05.26	SITE PLAN AMENDMENT - THIRD SUBMITTAL	07.31.26	SITE PLAN AMENDMENT - FOURTH SUBMITTAL	REVISIONS: <table><tr><td>03.17.26</td><td>DRG COMMENT</td></tr><tr><td>06.05.26</td><td>DRG REVIEW COMMENT - SDLA RESPONSES</td></tr><tr><td>07.31.26</td><td>DRG REVIEW COMMENT - SDLA RESPONSES</td></tr></table>	03.17.26	DRG COMMENT	06.05.26	DRG REVIEW COMMENT - SDLA RESPONSES	07.31.26	DRG REVIEW COMMENT - SDLA RESPONSES	CHIPOTLE MEXICAN GRILL 11 WESTON ROAD SUNRISE, FL, 33326 (REVISED SITE PLAN: RSP-000038-2026)	FLOOR PLAN	 DATE: 02.20.26 DRAWING NO: A-1
	10.30.25	SITE PLAN AMENDMENT																	
03.17.26	SITE PLAN AMENDMENT - SECOND SUBMITTAL																		
06.05.26	SITE PLAN AMENDMENT - THIRD SUBMITTAL																		
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03.17.26	DRG COMMENT																		
06.05.26	DRG REVIEW COMMENT - SDLA RESPONSES																		
07.31.26	DRG REVIEW COMMENT - SDLA RESPONSES																		
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GENERAL FLOOR PLAN NOTES

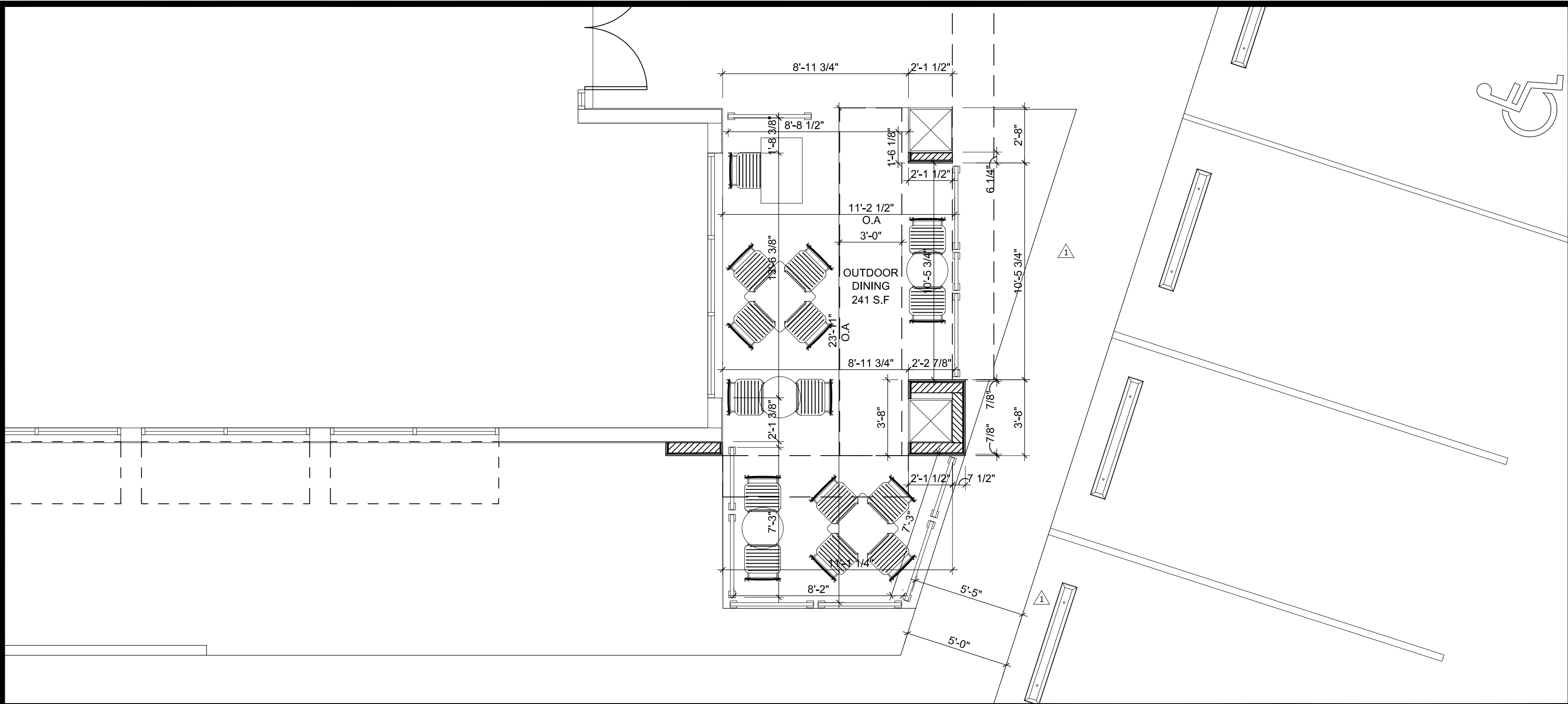
- 1 FUTURE CHIPOTLE MEXICAN GRILL INTERIOR LAYOUT PROVIDED FOR REFERENCE TO ADDRESS "REVISED SITE PLAN" REVIEW COMMENT "F. FLOORPLAN" (1). CHIPOTLE MEXICAN GRILL WILL SUBMIT A SEPARATE PERMIT SUBMITTAL AND IS NOT PART OF THE SHELL BUILDING PERMIT SUBMITTAL.

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1 PROPOSED CHIPOTLE FLOORPLAN (FOR REFERENCE ONLY)

SCALE: 1/4" = 1'-0"

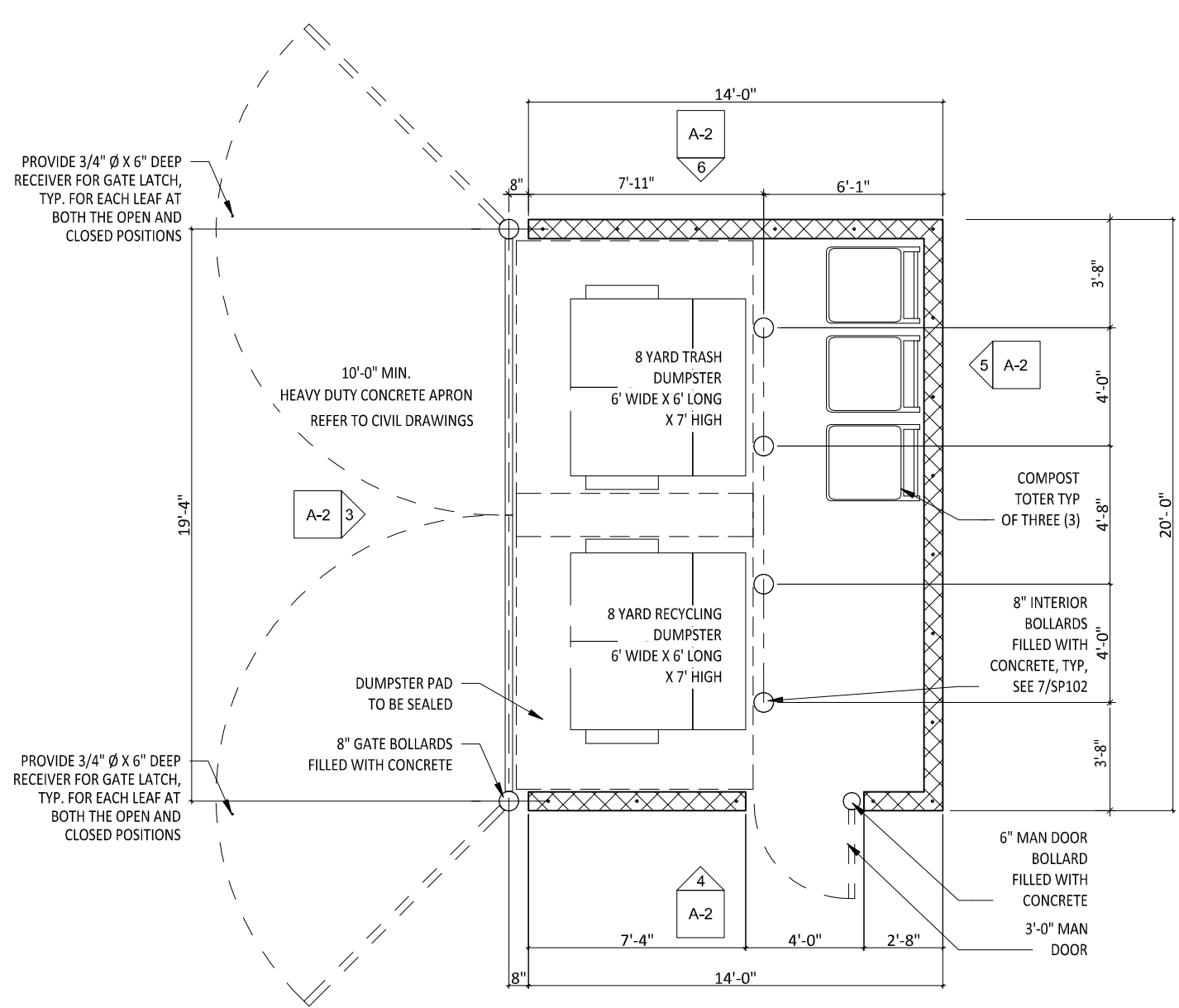
Consultant:  STEFANO DE LUCA & ASSOCIATES, INC. ARCHITECTURE & DESIGN 4501 Pierce Street Hollywood, FL 33021 P (954) 927-2800 F (954) 387-3494		ISSUE RECORD: <table><tr><td>06.05.26</td><td>SITE PLAN AMENDMENT - NEW SHEET</td></tr><tr><td>07.31.26</td><td>SITE PLAN AMENDMENT - FOURTH SUBMITTAL</td></tr><tr><td>-</td><td>-</td></tr><tr><td>-</td><td>-</td></tr><tr><td>-</td><td>-</td></tr><tr><td>-</td><td>-</td></tr></table>		06.05.26	SITE PLAN AMENDMENT - NEW SHEET	07.31.26	SITE PLAN AMENDMENT - FOURTH SUBMITTAL	-	-	-	-	-	-	-	-	REVISIONS: <table><tr><td>07.31.26</td><td>DRC REVIEW COMMENT - SDLA RESPONSE</td></tr><tr><td>-</td><td>-</td></tr><tr><td>-</td><td>-</td></tr><tr><td>-</td><td>-</td></tr><tr><td>-</td><td>-</td></tr><tr><td>-</td><td>-</td></tr></table>		07.31.26	DRC REVIEW COMMENT - SDLA RESPONSE	-	-	-	-	-	-	-	-	-	-	CHIPOTLE MEXICAN GRILL 11 WESTON ROAD SUNRISE, FL, 33326 (REVISED SITE PLAN: RSP-000038-2026)		FLOOR PLAN - FUTURE CHIPOTLE		SEAL 	DATE: 02.20.26 DRAWING NO. A-1.1
06.05.26	SITE PLAN AMENDMENT - NEW SHEET																																		
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1

ENLARGED OUTDOOR DINING AREA

SCALE: 1/4" = 1'-0"



2

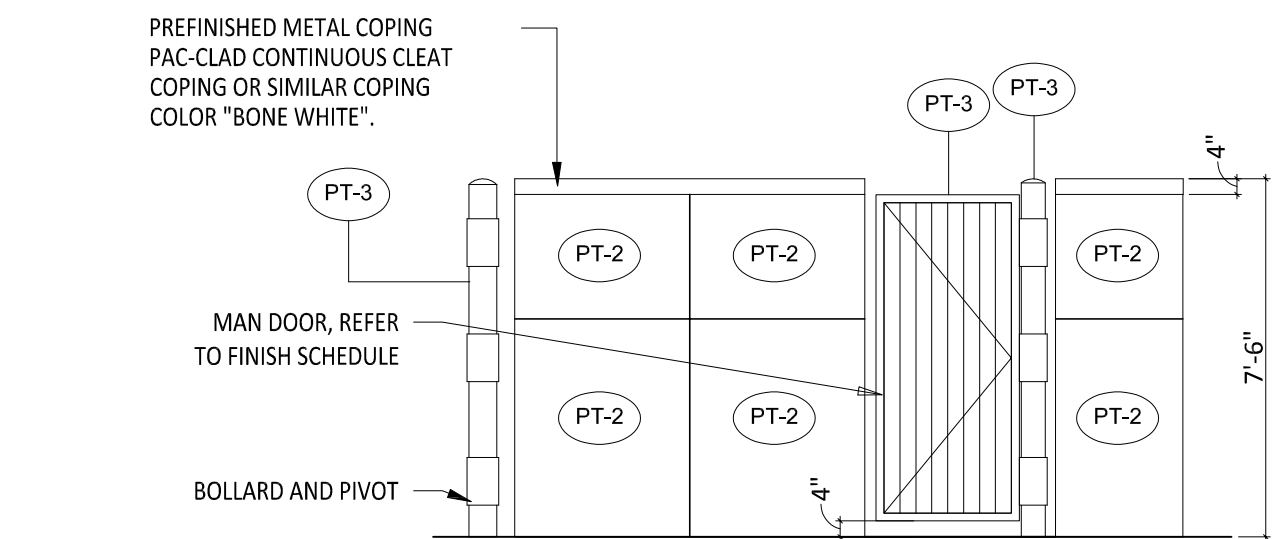
ENLARGED DUMPSTER ENCLOSURE

SCALE: 3/16" = 1'-0"

3

DUMPSTER ENCLOSURE ELEVATION

SCALE: 1/4" = 1'-0"



4

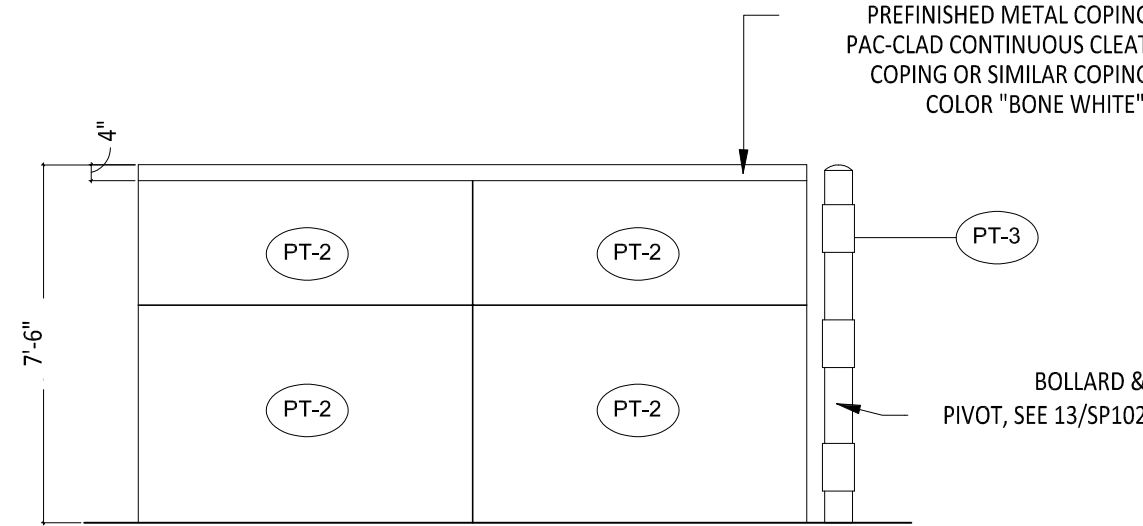
DUMPSTER ENCLOSURE ELEVATION

SCALE: 1/4" = 1'-0"

5

DUMPSTER ENCLOSURE ELEVATION

SCALE: 1/4" = 1'-0"



6

DUMPSTER ENCLOSURE ELEVATION

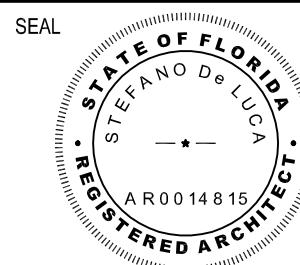
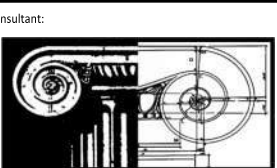
SCALE: 1/4" = 1'-0"

7

STUCCO REVEAL

SCALE: NTS

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DATE:
02.20.26DRAWING NO.
A-2STEFANO DE LUCA
& ASSOCIATES, INC.
ARCHITECTURE & DESIGN4501 Pierce Street
Hollywood, FL 33021
P: (954) 927-2690 F: (954) 307-3494

ISSUE RECORD:

10.30.25	SITE PLAN AMENDMENT
03.17.26	SITE PLAN AMENDMENT SECOND SUBMITTAL
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REVISIONS:

03.17.26	DRC COMMENT
06.05.26	DRC REVIEW COMMENT - SDLA RESPONSES
07.31.26	DRC REVIEW COMMENT - SDLA RESPONSES
-	-
-	-
-	-

CHIPOTLE MEXICAN GRILL

11 WESTON ROAD
SUNRISE, FL, 33326

(REVISED SITE PLAN: RSP-000038-2026)

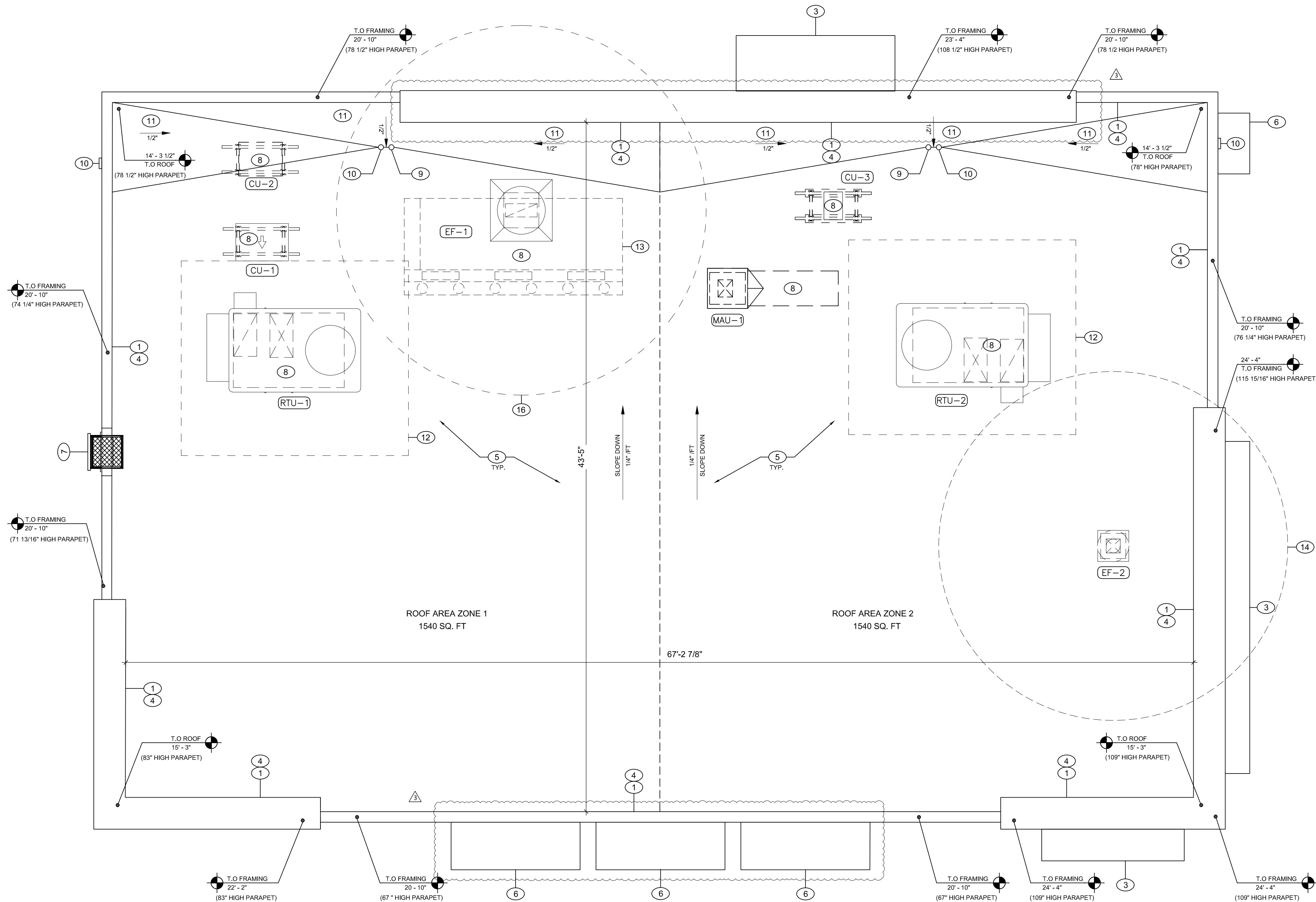
ENLARGED OUTDOOR DINING AREA
& DUMPSTER ENCLOSURE

GENERAL NOTES:

- G.C. SHALL COORDINATE LOCATION OF THE STORM WATER LEADERS WITH THE UNDERGROUND STORM WATER PIPING. REFER TO CIVIL DRAWINGS FOR MORE INFORMATION.

ROOF PLAN KEY NOTES:

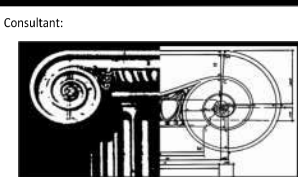
- ROOF PARAPET - SEE EXTERIOR ELEVATIONS.
- NOT USED.
- PRE-FAB METAL CANOPY. REFER TO EXTERIOR ELEVATIONS (SHEET A-4) & CANOPY DETAILS (SHEET A-10).
- ALL PARAPETS ARE 42" OR HIGHER ABOVE FINISHED ROOF PLANE.
- SINGLE PLY ROOF ON RIGID INSULATION ON NEW WOOD TRUSSES.
- FABRIC AWNING. REFER TO EXTERIOR ELEVATIONS (SHEET A-4) & CANOPY DETAILS (SHEET A-10).
- ROOF ACCESS LADDER WITH LOCKABLE SECURITY ENCLOSURE. REFER TO EXTERIOR ELEVATIONS (SHEET A-4, DETAIL 1).
- FUTURE ROOF EQUIPMENT. ROOF EQUIPMENT CURBS & ROOF STRUCTURE REINFORCING WILL BE DESIGNED & INSTALLED BY FUTURE TENANT.
- 4" ROOF DRAIN (PRIMARY).
- 4" OVERFLOW ROOF DRAIN (SECONDARY).
- TAPERED INSULATION CRICKET - 1/2" SLOPE MIN. G.C. SHALL INSTALL CRICKETS AS REQUIRED TO MAINTAIN DRAINAGE AWAY FROM ROOF TOP EQUIPMENT AND TOWARD ROOF DRAINS.
- DASHED LINE REPRESENTS MINIMUM REQUIRED EQUIPMENT CLEARANCES.
- OUTLINE OF KITCHEN HOOD BELOW.
- EXHAUST OUTLET 10' RADIUS PER FBCM 2023, SEC. 501.3.1 (1).



1

ROOF PLAN

SCALE: 1/4" = 1'-0"



**STEFANO DE LUCA
& ASSOCIATES, INC.**
ARCHITECTURE & DESIGN

4501 Pineda Street
Hollywood, FL 33021
P (954) 927-2990 F (954) 367-3494

ISSUE RECORD:

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REVISIONS:

1	03.17.26	DRC COMMENT
2	06.05.26	DRC REVIEW COMMENT - SDLA RESPONSES
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4		
5		
6		

CHIPOTLE MEXICAN GRILL

11 WESTON ROAD
SUNRISE, FL, 33326

(REVISED SITE PLAN: RSP-000038-2026)

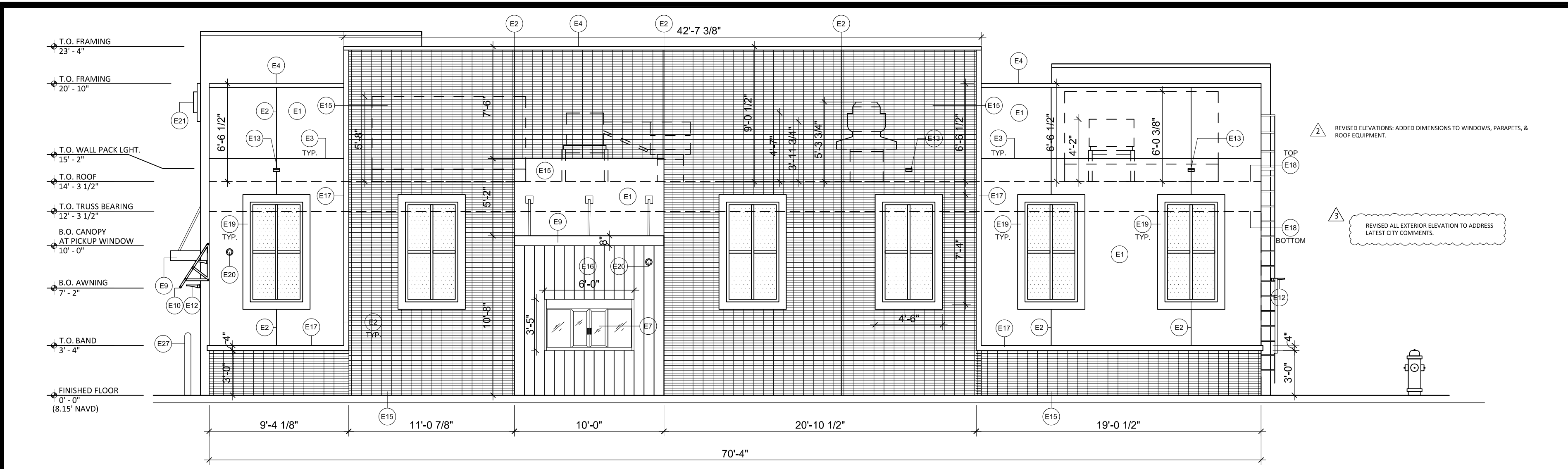
ROOF PLAN



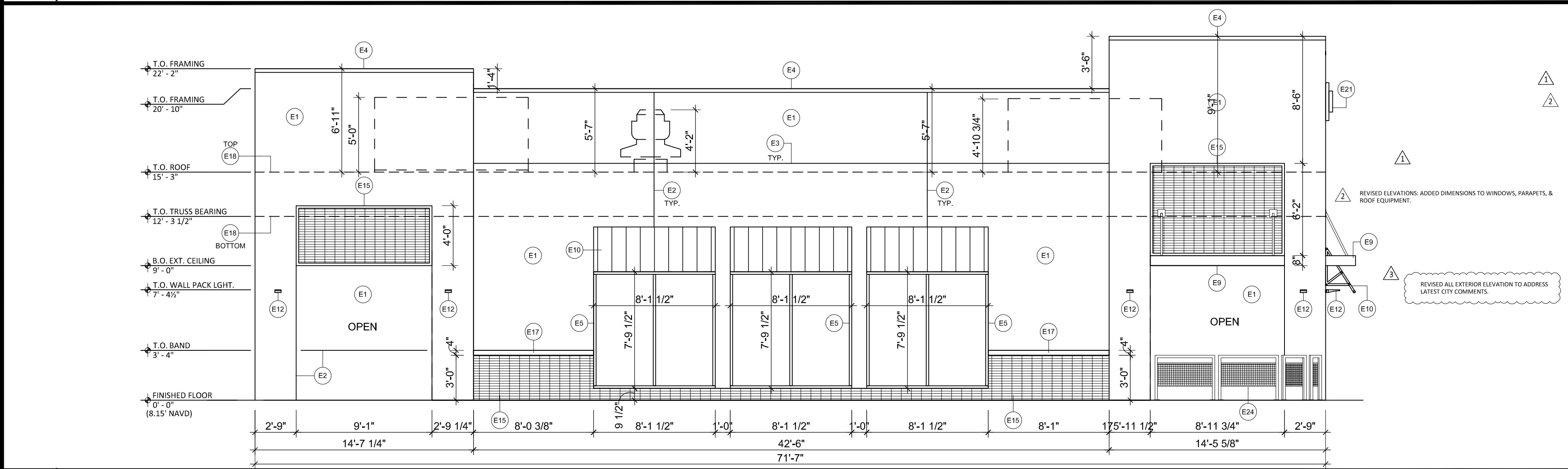
DATE:
02.20.26

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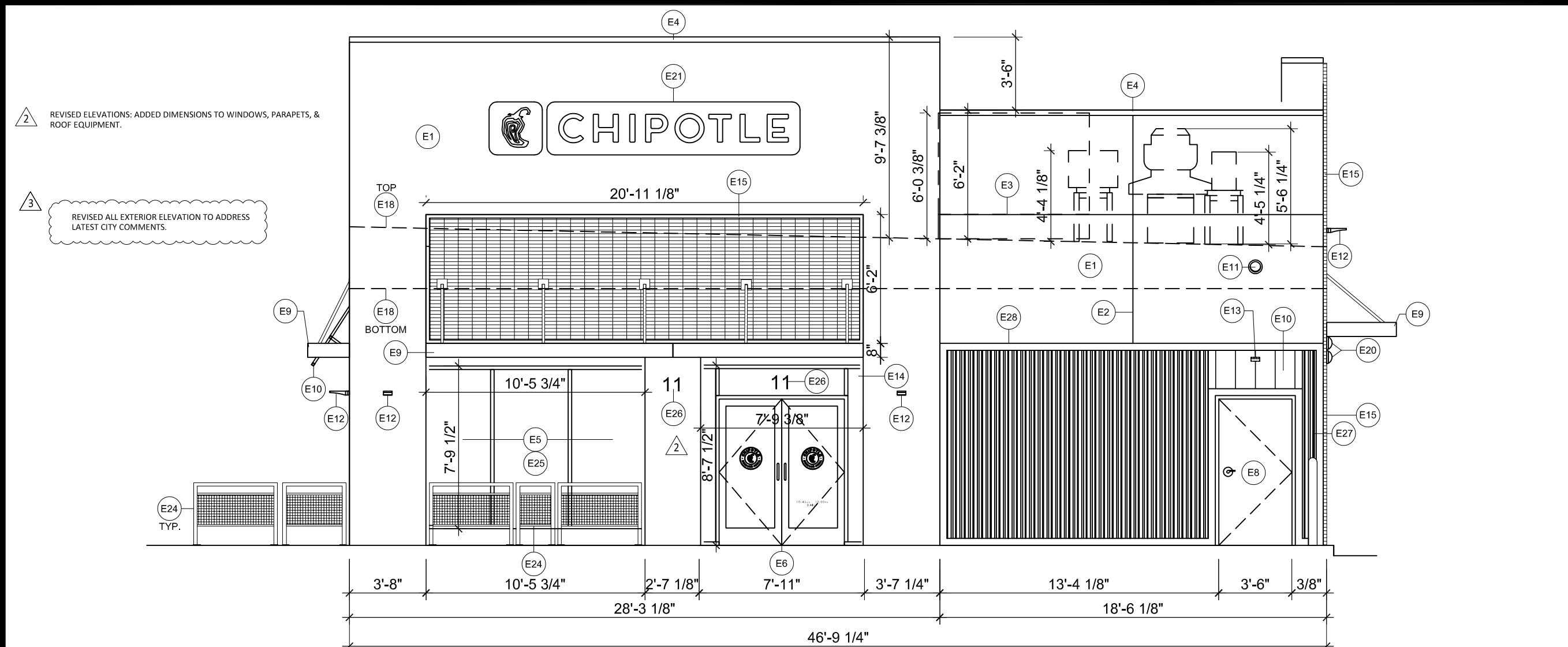
A-3



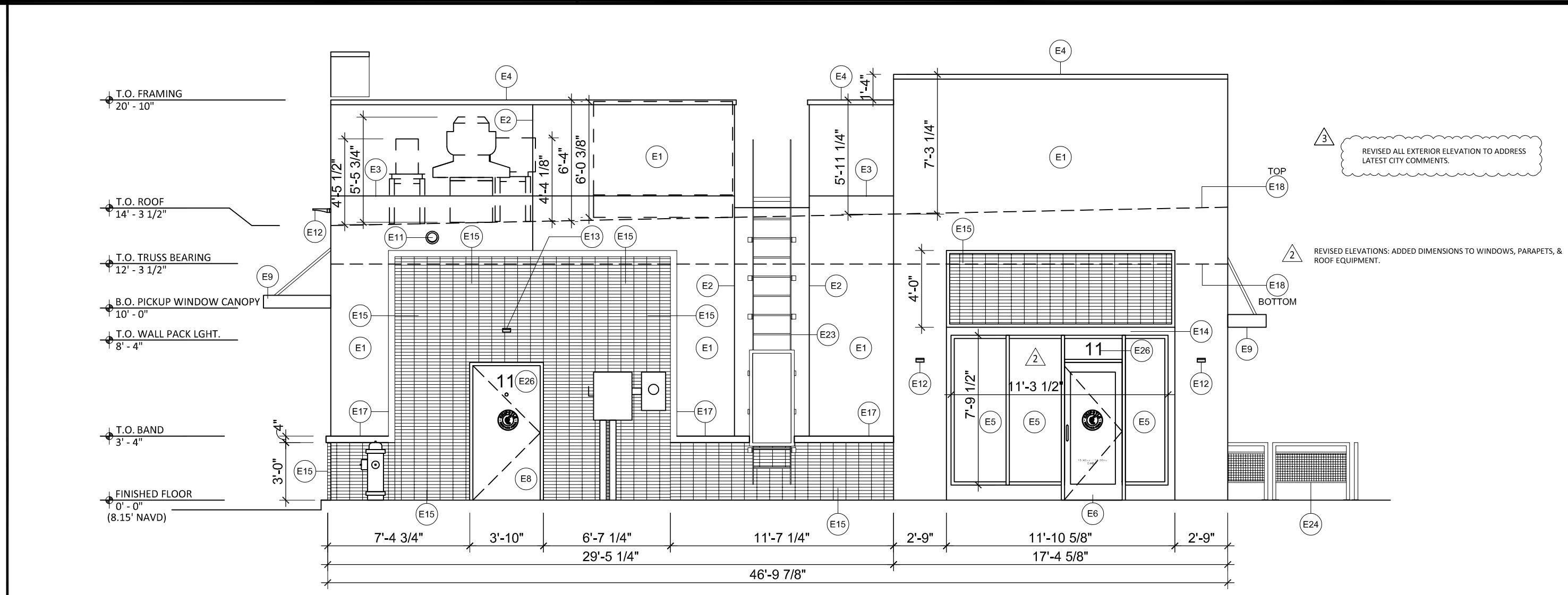
4 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



3 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"



1 WEST ELEVATION
SCALE: 3/16" = 1'-0"

GENERAL NOTES

- ALL PROPOSED SIGNAGE REGULATED BY THE CITY OF SUNRISE LAND DEVELOPMENT CODE SHALL BE REVIEWED UNDER A SEPARATE BUILDING PERMIT.
- GRAPHICS SHOWN ON THE STOREFRONT (WINDOW SIGNS) MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF SUNRISE CODE OF ORDINANCES, SUBPART 8, CHAPTER 16, SECTION 16.252, "WINDOW SIGN".

EXTERIOR FINISH / FIXTURE / EQUIPMENT SCHEDULE

TAG	MATERIAL/DESCRIPTION	MFR.	STYLE / CAT NO.	COLOR	NOTES
E1	STUCCO	-	-	-	SMOOTH FINISH.
E2	STUCCO CONTROL JOINT	CLARK DIETRICH	-	-	PROVIDE TEMP CAP., REFER TO DETAIL SHEET.
E3	STUCCO SCORE LINE	-	-	-	-
E4	METAL COPING	DURALAST	ALL-TERM METAL COVER	WHITE	RE: TO COLOR ELEVATIONS FOR SPECIFIC COLORS.
E5	IMPACT-RATED STOREFRONT WINDOW	-	-	BLACK	RE: TO COLOR ELEVATIONS & WINDOW/DOOR SCHEDULE.
E6	IMPACT-RATED STOREFRONT DOOR	-	-	BLACK	RE: TO COLOR ELEVATIONS & WINDOW/DOOR SCHEDULE.
E7	IMPACT-RATED PICK-UP WINDOW	QUICKSERV	BP-724IE-IP-CHIPOTLE	DARK BRONZE	RE: TO COLOR ELEVATIONS & WINDOW/DOOR SCHEDULE.
E8	IMPACT RATED H.M. DOOR	CECO	-	SOLSTICE	RE: TO COLOR ELEVATIONS & WINDOW/DOOR SCHEDULE.
E9	METAL CANOPY	AMERICAN PRODUCTS, INC.	-	BLACK	RE: TO COLOR ELEVATIONS. CANOPY WILL INCLUDE NECESSARY LED LIGHT FIXTURES (DRAWING REFER TO SHEET A-6, DETAILS 6-7 & SHEET A-10 FOR LIGHTING INFORMATION).
E10	CANVAS AWNING	SUNBRELLA	-	BLACK	FIXED SLOPED POSITION.
E11	OVERFLOW	WATTS	RD-840	NICKEL BRONZE	-
E12	WALL PACK	RAB	WPLEDS	WHITE	3000K
E13	WALL PACK	RAB	WPLEDS	BRONZE	3000K - FIXTURE LOCATED BEHIND AWNING.
E14	EMERGENCY LIGHT	EXTRONIX	WLED1-BWP	WHITE	3000K - REMOTE LED SINGLE EMERGENCY HEAD.

EXTERIOR FINISH / FIXTURE / EQUIPMENT SCHEDULE

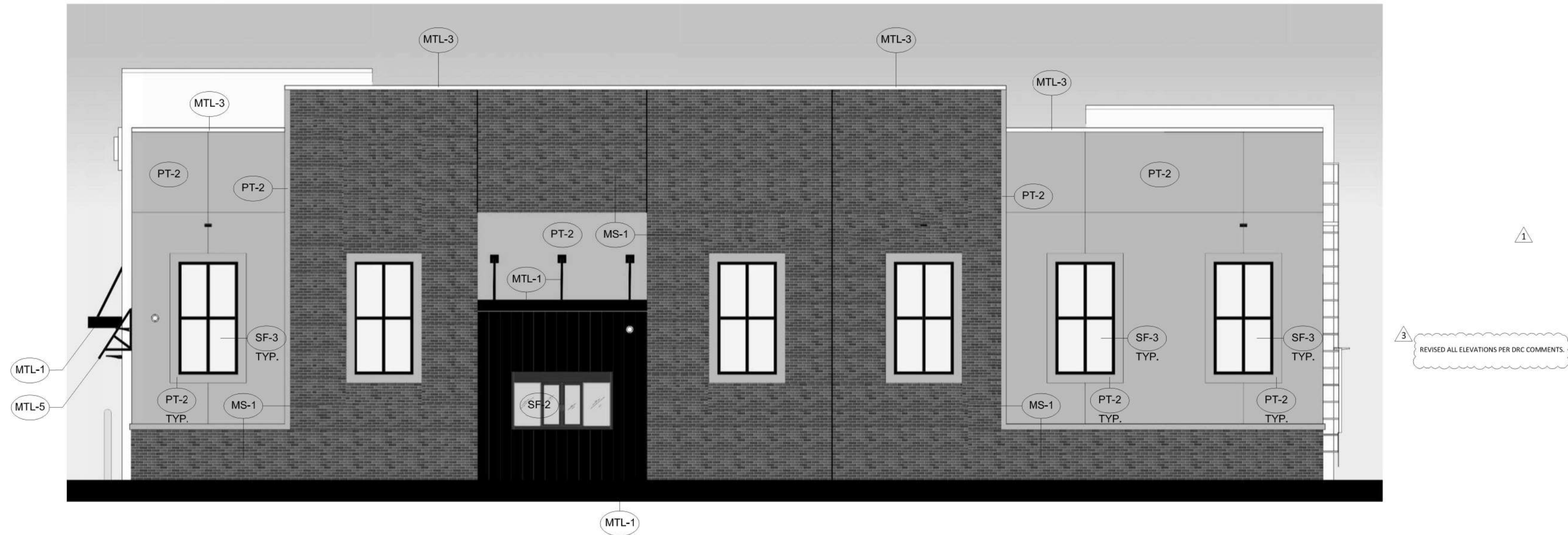
TAG	MATERIAL/DESCRIPTION	MFR.	STYLE / CAT NO.	COLOR	NOTES
E15	STACKED THIN BRICK	ENDICOTT	VENIER BRICK	SIENNA IRONSPOT - SMOOTH	-
E16	METAL PANEL SYSTEM	-	-	BLACK (PRE-FINISHED)	-
E17	EI'S BAND	-	-	-	RE: TO COLORED ELEVATIONS
E18	ROOF LINE - WOOD TRUSSES	-	-	-	WOOD TRUSSES WITH SLOPED TOP CHORD
E19	FAUX STOREFRONT WINDOW W/ SPANDREL GLASS & STUCCO BORDER.	-	-	-	RE: TO COLORED ELEVATIONS
E20	SECURITY CAMERA	-	-	-	-
E21	WALL SIGN	-	-	-	-
E22	CANVAS AWNING	-	-	BLACK	-
E23	ROOF ACCESS LADDER	-	-	BLACK	STEEL LADDER WITH LOCKABLE GATE DOOR
E24	PATIO RAILING	-	-	BLACK	-
E25	SPANDREL	-	-	OPAQUE	-
E26	10" HIGH METAL NUMBERS	-	-	BLACK	NEW 10" HIGH METAL CONTRASTING COLOR NUMBERS ON THE WALL FOR ADDRESS IDENTIFICATION (CITY OF SUNRISE CODE OF ORDINANCES SECTION 16-249).
E27	4" BOLLARD	-	-	SAFETY YELLOW	NEW 4" HIGH STEEL BOLLARD. COLOR SHALL BE "SAFETY YELLOW".
E28	BOX RIB WALL PANEL	PAC - CLAD	BOX RIB	PPG SOLSTICE 1015-3	WALL PANEL SYSTEM.

Consultant:	ISSUE RECORD:	REVISIONS:
 STEFANO DE LUCA & ASSOCIATES, INC. ARCHITECTURE & DESIGN 4501 Pierce Street Hollywood, FL 33021 P (954) 927-2890 F (954) 367-3494	10.30.25 SITE PLAN AMENDMENT	03.17.26 DRC COMMENT
	03.17.26 SITE PLAN AMENDMENT SECOND SUBMITTAL	06.05.26 DRC REVIEW COMMENT - SDLA RESPONSES
	06.05.26 SITE PLAN AMENDMENT - THIRD SUBMITTAL	07.31.26 DRC REVIEW COMMENT - SDLA RESPONSES
	07.31.26 SITE PLAN AMENDMENT - FOURTH SUBMITTAL	

CHIPOTLE MEXICAN GRILL
11 WESTON ROAD
SUNRISE, FL, 33326
(REVISED SITE PLAN: RSP-000038-2026)

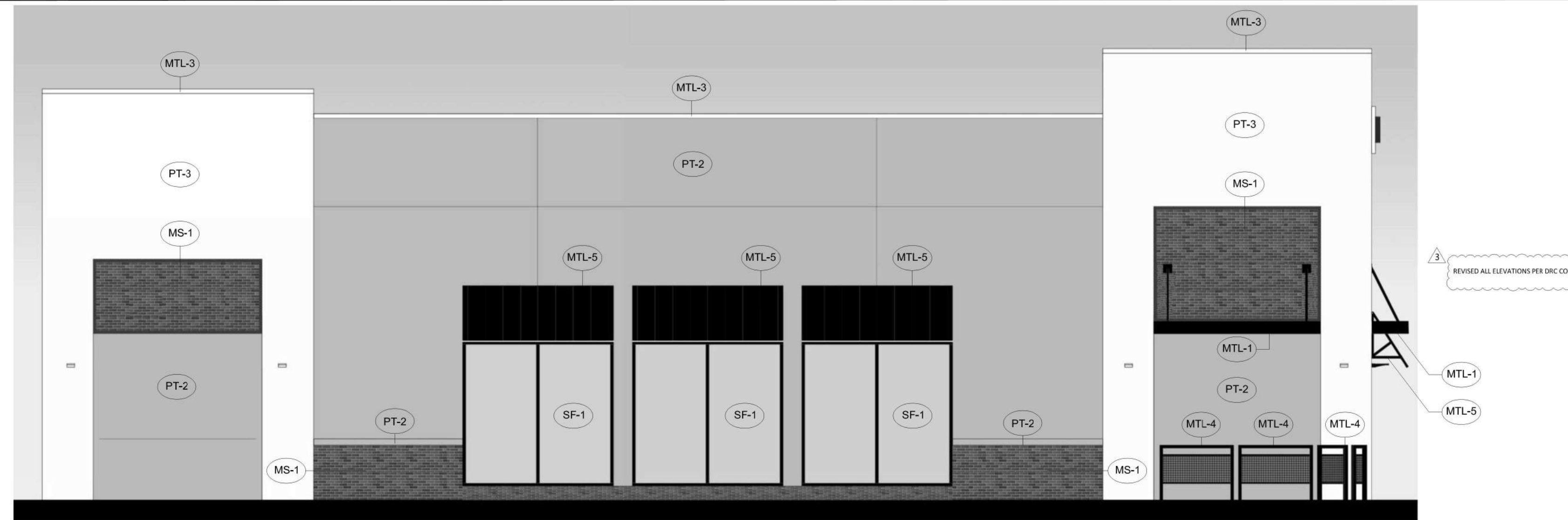
EXTERIOR ELEVATIONS

SEAL	DATE:
	02.20.26
	DRAWING NO.
	A-4



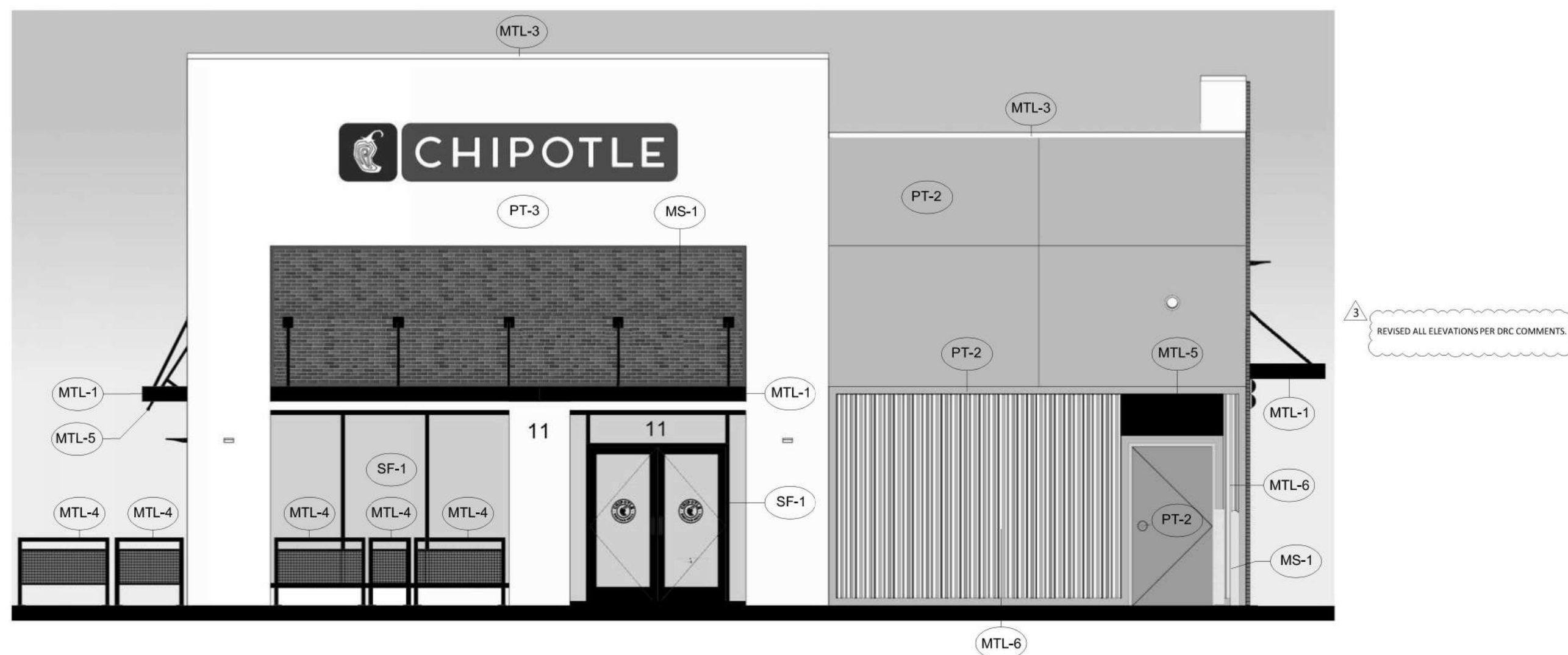
4 NORTH ELEVATION

SCALE: NTS



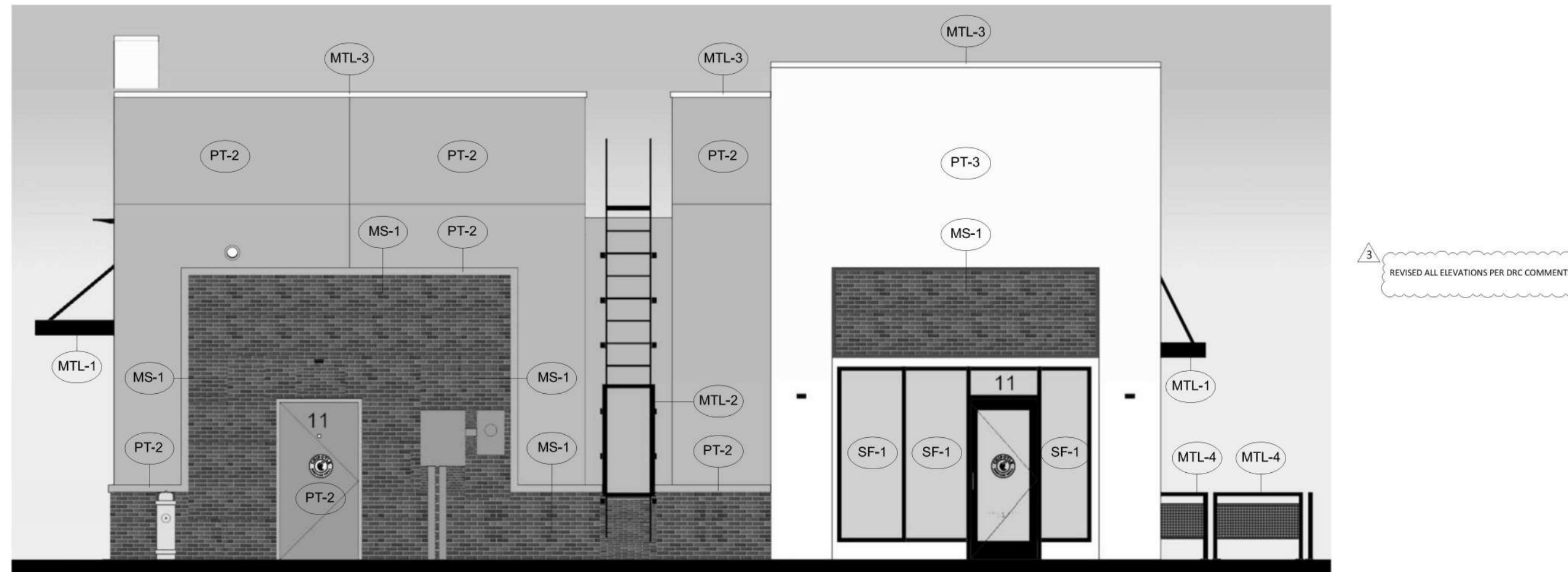
3 SOUTH ELEVATION

SCALE: NTS



2 EAST ELEVATION

SCALE: NTS



1 WEST ELEVATION

NTS

FINISH COLOR SCHEDULE

TAG	ITEM/PRODUCT	DESCRIPTION	COLOR/FINISH	TAG	ITEM/PRODUCT	DESCRIPTION	COLOR/FINISH
PT-2	STUCCO WALL	PPG SOLSTICE 1010-3 RGB 186 189 184		MTL-5	FRAME FABRIC AWNING / ALUMINUM FRAME	SUNBRELLA (FIRE RETARDANT) / BLACK FRAME	
PT-3	STUCCO WALL	PPG SUPER WHITE 4-2208 (NO TINT) RGB 255 255 255		MTL-6	METAL WALL PANEL	PAC-CLAD BOX RIB PPG SOLSTICE FINISH	
MTL-1	ENTRY CANOPY, PICK-UP WINDOW CANOPY, PICK-UP WINDOW METAL PANELS	BLACK RGB 38 38 38		SF-1	STOREFRONT DOORS AND WINDOWS	KAWNEER BLACK UC10846 PERMAFLUOR	
MTL-2	ROOF ACCESS LADDER	BLACK RGB 38 38 38		SF-2	PICK-UP WINDOW QUICKSERV	BRONZE	
MTL-3	DURALAST ALL-TERM METAL COVER W/NO REFER TO WALL SECTIONS	WHITE RGB 246 246 243		SF-3	STOREFRONT WINDOW	KAWNEER BLACK FRAME WITH WHITE SPANDREL GLASS	
MTL-4	PATIO RAILING	MATTE BLACK BK-08		MS-1	THIN BRICK - TOWER INSET, PICK-UP WINDOW WALL, AND BRICK WAINSCOT	ENDICOTT - SIENNA IRONSPOT SMOOTH	

FINISH COLOR PERCENT DATA (CITY OF SUNRISE, FLORIDA CODE OF ORDINANCES, SUBPART B - LAND DEVELOPMENT CODE - CHAPTER 16, ARTICLE VI, SECTION 16-138)

OVERALL S.F. = 1070 S.F. WHITE = 414 S.F. SOLSTICE = 351 S.F. BRICK = 136 S.F. BLACK = 55 S.F. GLASS = 95 S.F. WHITE % = 39% SOLSTICE % = 33% BRICK % = 13% BLACK % = 5% GLASS % = 9%	OVERALL S.F. = 1572 S.F. WHITE = 139 S.F. SOLSTICE = 512 S.F. BRICK = 79 S.F. BLACK = 112 S.F. GLASS = 12 S.F. WHITE % = 9% SOLSTICE % = 32% BRICK % = 5% BLACK % = 8% GLASS % = 1%
OVERALL S.F. = 975 S.F. WHITE = 242 S.F. SOLSTICE = 360 S.F. BRICK = 346 S.F. BLACK = 88 S.F. GLASS = 68 S.F. WHITE % = 25% SOLSTICE % = 39% BRICK % = 37% BLACK % = 9% GLASS % = 7%	OVERALL S.F. = 1561 S.F. WHITE = 416 S.F. SOLSTICE = 709 S.F. BRICK = 161 S.F. BLACK = 109 S.F. GLASS = 106 S.F. WHITE % = 27% SOLSTICE % = 45% BRICK % = 10% BLACK % = 7% GLASS % = 11%

LEAVE BLANK - FOR CITY USE ONLY



ISSUE RECORD:	REVISIONS:
10.30.25 SITE PLAN AMENDMENT	03.17.26 DRC COMMENT
03.17.26 SITE PLAN AMENDMENT SECOND SUBMITTAL	06.05.26 DRC REVIEW COMMENT - SDLA RESPONSES
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CHIPOTLE MEXICAN GRILL

11 WESTON ROAD
SUNRISE, FL, 33326

(REVISED SITE PLAN: RSP-000038-2026)

EXTERIOR ELEVATIONS - FINISHES



DATE:
10.30.25

DRAWING NO.
A-5