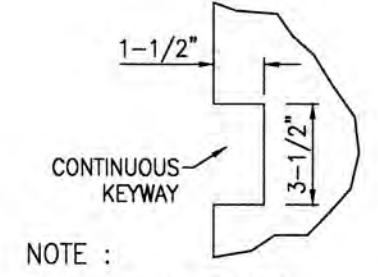
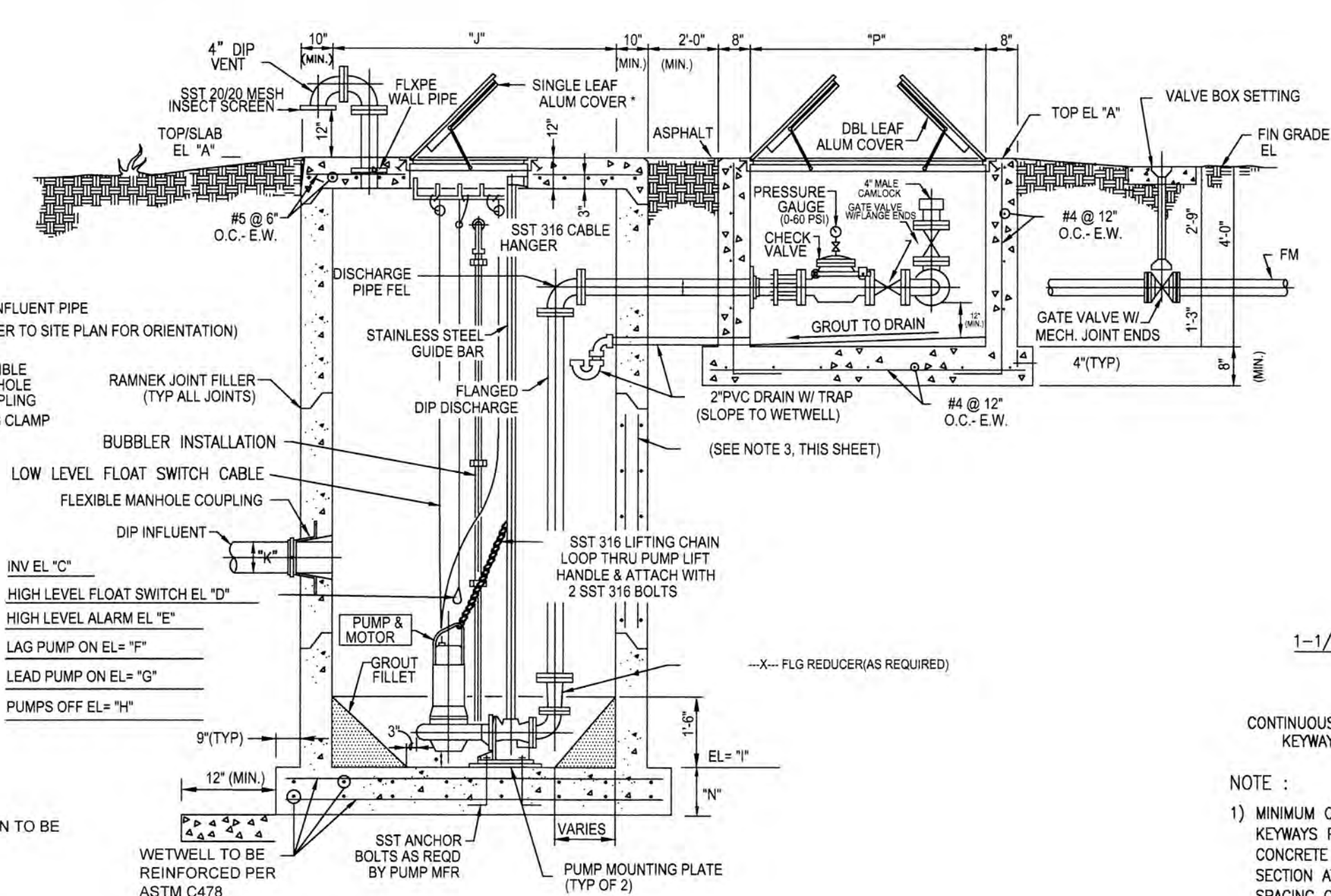


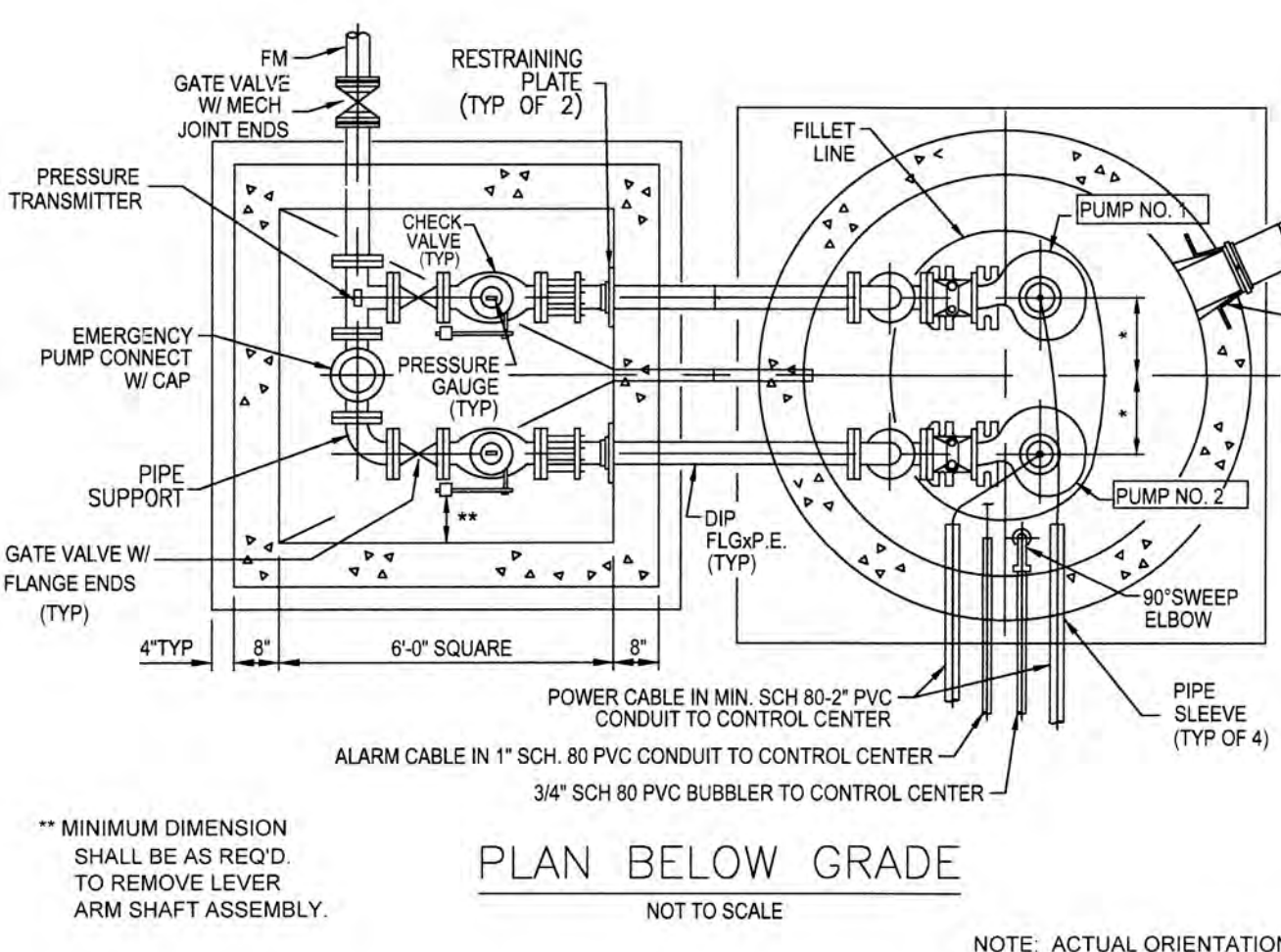
GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF SUNRISE UTILITY STANDARDS AND SOUTH FLORIDA BUILDING CODE, LATEST REVISION.
- THE CONTRACTOR SHALL VERIFY ALL INFORMATION SHOWN PRIOR TO CONSTRUCTION, AND ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
- CONCRETE SHALL HAVE NOT LESS THAN 3000 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS. PRECAST CONCRETE SHALL BE 4000 P.S.I. CLASS II MINIMUM.
- REINFORCING STEEL SHALL CONFORM TO A.S.T.M. SPEC. A-615 AND SHALL BE DEFORMED ACCORDING TO A.S.T.M. SPEC.305.
- ALL PIPING SHALL BE DUCTILE IRON PER AWWA C151, EPOXY-LINED, FLANGED JOINTS UNLESS OTHERWISE NOTED. ALL FITTINGS SHALL BE DUCTILE IRON OR CAST IRON PER AWWA C110, FLANGED JOINTS UNLESS OTHERWISE NOTED.
- ALL PIPE OPENINGS SHALL BE CAST AT TIME OF FABRICATION.
- SEWAGE PUMPS SHALL BE DUPLEX SUBMERSIBLE AS MANUFACTURED BY FLYGT CORP., DAVIS EMU, OR APPROVED EQUAL.
- SHOP DRAWINGS FOR COMPLETE LIFT STATION SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL AND THEN SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO SITE.
- OPENINGS AROUND PIPES SHALL BE SEALED WITH EMBECO MORTAR.
- ALL UNSUITABLE MATERIAL SHALL BE REMOVED WITHIN THE LIMITS OF CONSTRUCTION.
- WETWELL & VALVE PIT SHALL BE COATED INSIDE AND OUTSIDE, PIPING SHALL BE COATED OUTSIDE. ALL APPLICATIONS SHALL RECEIVE TWO COATS OF KOPPERS BITUMASTIC NO. 300-M.
- CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST FLOATATION OF THE WETWELL DURING CONSTRUCTION.
- GATE VALVES SHALL BE RESILIENT SEAT, ECCENTRIC, WHEEL OPERATED OR APPROVED EQUAL.
- CHECK VALVES SHALL BE KENNEDY, IRON BODY, BRONZE MOUNTED, SWING CHECK, LEVER & WEIGHT OR APPROVED EQUAL.
- PIPE COUPLING SHALL BE CAST IRON, DRESSER STYLE 127 OR APPROVED EQUAL.
- SIX (6) COPIES OF OPERATIONAL AND MAINTENANCE MANUAL AND COPIES OF ELECTRICAL CONTROL PANEL SCHEMATICS ARE TO BE SUBMITTED TO THE CITY ENGINEER.
- PUMPS SHALL NOT BE SMALLER THAN FIVE (5) HORSEPOWER UNLESS APPROVED BY THE CITY.
- PROVIDE AIR FAILURE SYSTEM WITH FLOAT BALL.
- MINIMUM DISCHARGE PIPE SHALL BE 4".
- ALL FITTINGS INSIDE WETWELL AND VALVE PIT SHALL BE FLANGED, AND ALL HARDWARE INSIDE WETWELL SHALL BE STAINLESS STEEL.
- ELECTRICAL CONTROL PANEL SHALL BE PROVIDED WITH A UL LABEL, AND BE MANUFACTURED BY A UL 508 MANUFACTURER SUCH AS DIVERSIFIED ENGINEERING, CURRY CONTROLS OR APPROVED EQUAL.
- A BAKELITE PLAQUE SHALL BE PROVIDED, MOUNTED ON ELECTRICAL ENCLOSURE, NOT SMALLER THAN 60 SQUARE INCHES, WITH WHITE ENGRAVED LETTERS ON A RED BACKGROUND, WITH THE FOLLOWING NOTATIONS:
 CITY OF SUNRISE
 FLORIDA
 SEWAGE LIFT STATION NO. _____
 PLEASE REPORT RED FLASHING ALARM LIGHT
 CALL TEL. NO. 846-7406 OR 741-2580

- MOTORS LARGER THAN 15 HP SHALL BE 480V/3PH. MOTORS 15HP AND LESS SHALL BE 240V/3 PH.
- PHASE MONITOR SHALL BE EIGHT PIN PLUG-IN TYPE AND SHALL BE TIME MARK OR DIVERSIFIED OR APPROVED EQUAL.
- MOTOR STARTERS, CIRCUIT BREAKERS AND ELECTRICAL CONTROL DEVICES SHALL BE SQUARE-D # 8536 OR APPROVED EQUAL AND SHALL BE SIZED PER N.E.C. CODE (1996).
- ELECTRICAL PANEL MUST HAVE A STORAGE COMPARTMENT INSIDE PANEL DOOR FOR OPERATIONAL AND MAINTENANCE MANUAL.
- ELECTRICAL SYSTEM SHALL BE PROTECTED BY A LIGHTNING ARRESTOR AND SURGE CAPACITOR.
- COMPRESSOR OUTLET TO BE SEPARATE FROM POWER TOOL OUTLET AND BE CIRCUIT BREAKER PROTECTED.
- POWER TOOL OUTLET TO BE MOUNTED IN DEADFRONT AND MUST BE A G.F.I. RECEPTACLE.
- HIGH-LEVEL ALARM LIGHT AND HORN TO BE WIRED SEPARATE FROM CONTROL WIRING AND BE CIRCUIT BREAKER PROTECTED.
- SEAL OFFS TO BE PROVIDED ON ALL ELECTRICAL CONDUITS ENTERING CONTROL PANEL FROM WETWELL.
- PROVIDE 48" HIGH CHERRY HEDGES 5' OUTSIDE PERIMETER FENCE OF LIFT STATION.
- LANDSCAPE MAINTENANCE TO BE DONE BY HOMEOWNERS ASSOCIATION AND/OR DEVELOPER.
- HOUR METERS 2 1/2" ROUND TYPE 120V CRAWLER 635G OR APPROVED EQUAL. TO BE PROVIDED.
- SELECTOR SWITCHES SHALL BE SQUARE D 9001-KS43BH1 OR APPROVED EQUAL. TO BE PROVIDED.
- PILOT LIGHTS SHALL BE SQUARE D 9001-KP3BR9 OR APPROVED EQUAL.
- LIGHTNING ARRESTOR SHALL BE G.E. OR APPROVED EQUAL.
- SURGE ARRESTOR SHALL BE G.E. OR APPROVED EQUAL.
- WETWELL SHALL BE IN ACCORDANCE WITH CLASS I, DIV. II, HAZARDOUS LOCATION REQUIREMENTS, PER NEC.

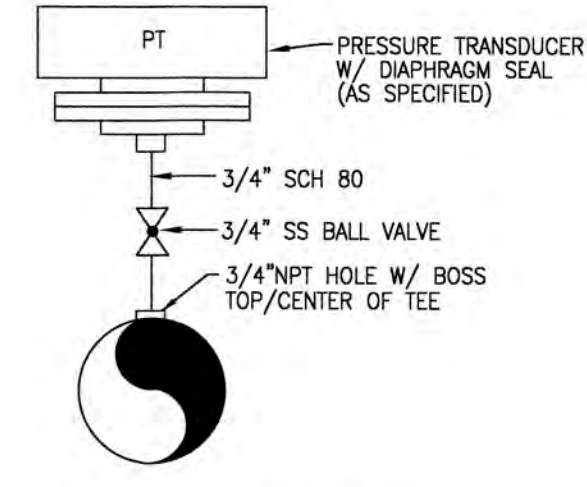
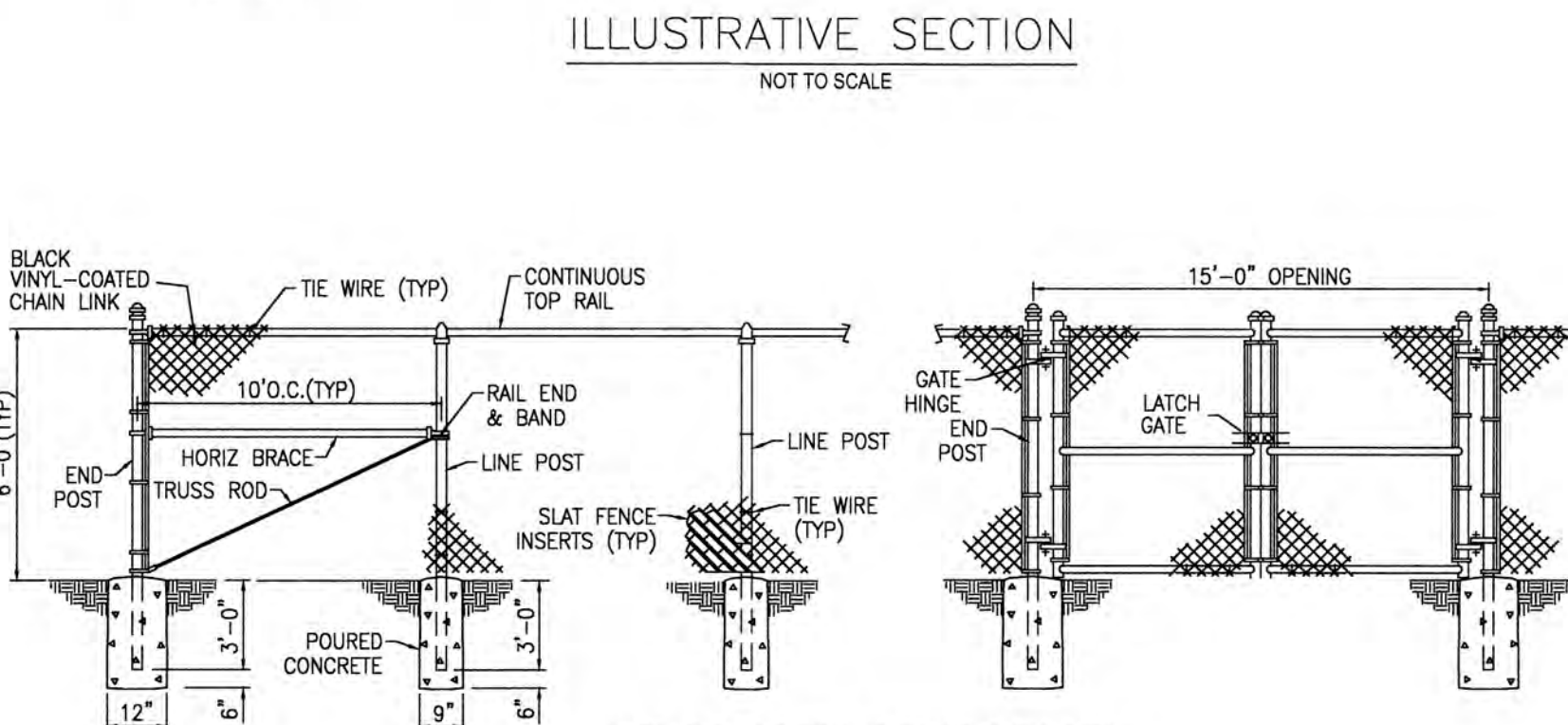
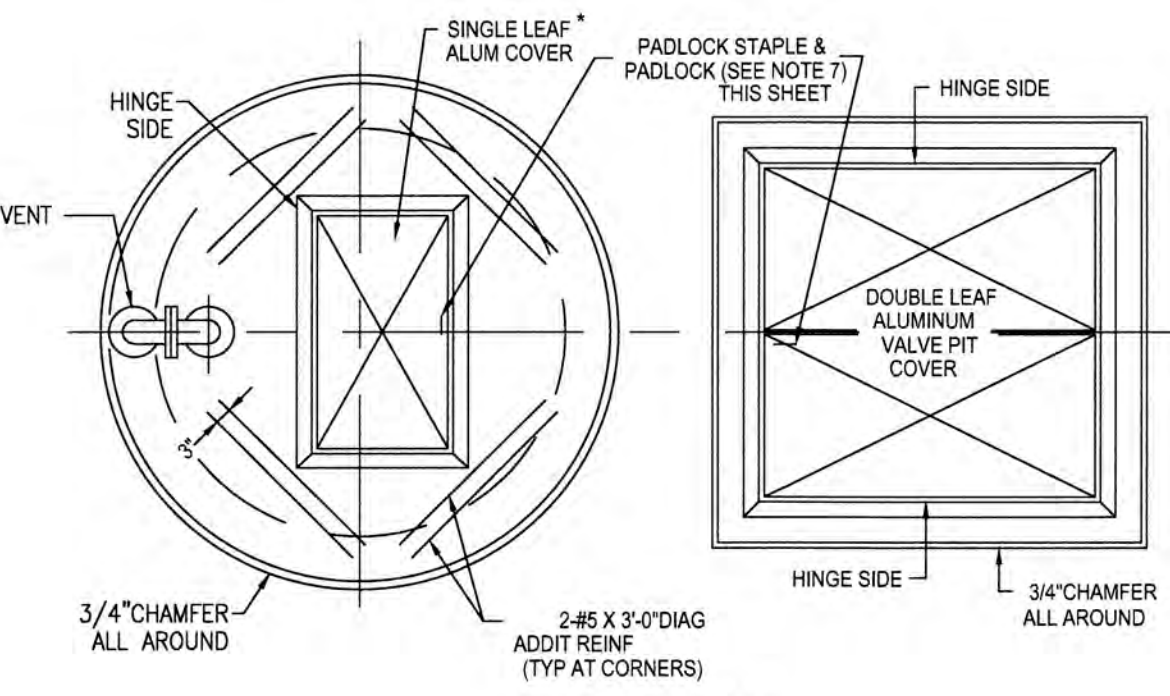


NOTE:
1) MINIMUM OF TWO (2) KEYWAYS PER PRECAST CONCRETE WETWELL SECTION AT MAXIMUM SPACING OF 24"



** MINIMUM DIMENSION SHALL BE AS REQ'D. TO REMOVE LEVER ARM SHAFT ASSEMBLY.

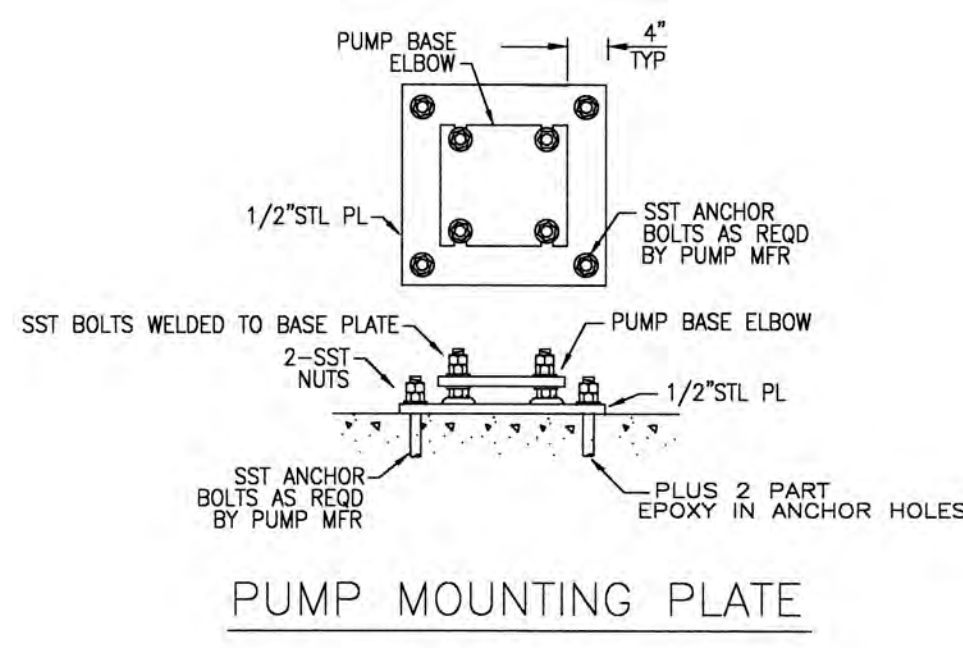
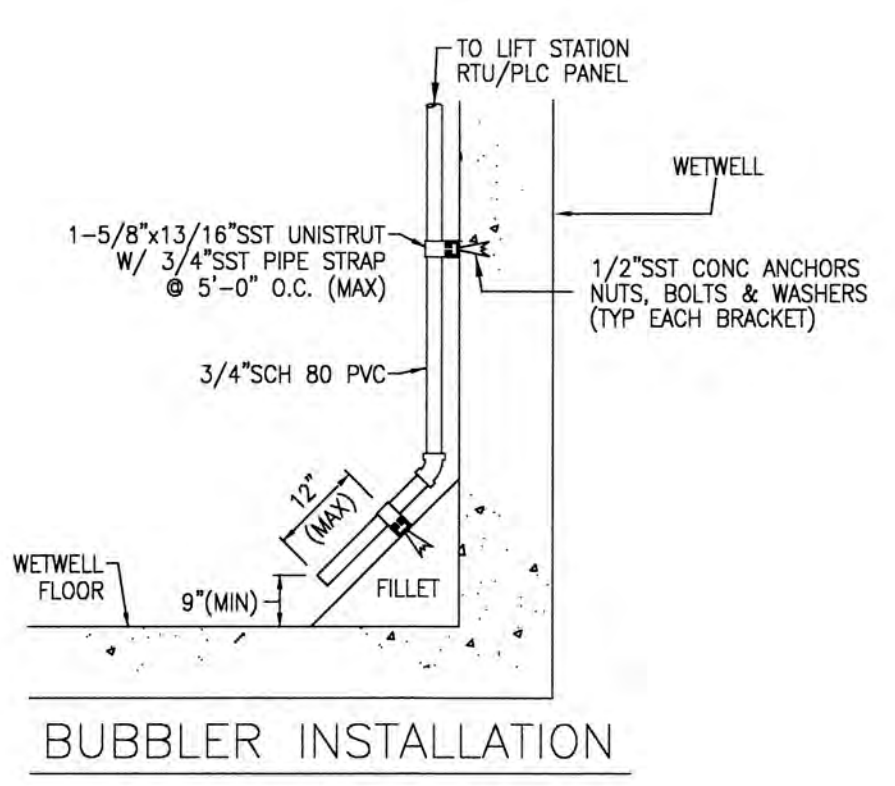
NOTE: ACTUAL ORIENTATION OF STATION TO BE IN ACCORDANCE WITH SITE PLAN.



PUMP DATA TABLE	
NUMBER OF PUMPS	
DESIGN G.P.M.	
TOTAL DYNAMIC HEAD (FT)	
P U M P	MANUF. U.S. FILTER/EMU
	MODEL
IMPELLER NUMBER	
R.P.M.	
H.P.	
SIZE	
MAX. SOLID SIZE	
PHASE	3Ø
CYCLE (HZ)	60
VOLTS	
PUMP WEIGHT	

ELEVATION DATA		
TOP SLAB ELEVATION	ELEVATION "A"	11.00
DISCHARGE PIPE ELEVATION	ELEVATION "B"	4.00
INFLUENT PIPE INVERT ELEVATION	ELEVATION "C"	(-)0.86
HIGH WATER FLOAT SWITCH	ELEVATION "D"	(-)1.36
HIGH WATER ALARM	ELEVATION "E"	(-)1.36
LAG PUMP ON	ELEVATION "F"	(-)1.86
LEAD PUMP ON	ELEVATION "G"	(-)2.36
ALL PUMPS OFF	ELEVATION "H"	(-)3.36
WET WELL BASE SLAB ELEVATION	ELEVATION "I"	(-)8.34
WETWELL INSIDE DIAMETER	"J"	8"
INFLUENT PIPE DIAMETER	"K"	8"
PUMP DISCHARGE PIPE DIAMETER	"L"	6"
OPERATING RANGE	"M"	176GPM/28.5TDH
BASE SLAB THICKNESS	"N"	12"
VALVE BOX SIZE	"P"	X

NOTE: ALL ELEVATIONS ARE N.A.V.D.



ENGINEER TO PROVIDE SITE PLAN INCLUDING:

- 6' HIGH CHAIN LINK FENCE AROUND ENTIRE EASEMENT W/ 15' DOUBLE DOOR GATES.
- 30' X 30' MINIMUM EASEMENT AREA.
- 1" WATER SERVICE & METER AT RW LINE.
- 15' ASPHALT DRIVEWAY.
- RPZ BACKFLOW PREVENTER
- GUARD POST(S), AS REQUIRED

SITE PLAN:
(PROVIDE SITE PLAN IN THIS SECTION)

48 HOURS BEFORE DIGGING
 BROWARD • PALM BEACH • INDIAN RIVER
 ST. LUCIE • MARTIN COUNTIES
 CALL TOLL FREE
1-800-432-4770
 SUNSHINE STATE 1 CALL
 UNDERGROUND UTILITIES
 NOTIFICATION CENTER

Designed By:	
Drawn By:	
Checked By:	

CITY OF SUNRISE

APPROVED BY: _____ DATE: _____
 REGISTERED ENGINEER NO. _____
 STATE OF FLORIDA

STANDARD LIFT STATION DETAILS AND NOTES

ORIGINAL ISSUE DATE: 04/10/96

PROJECT NUMBER
12-0093-001-04

C-28

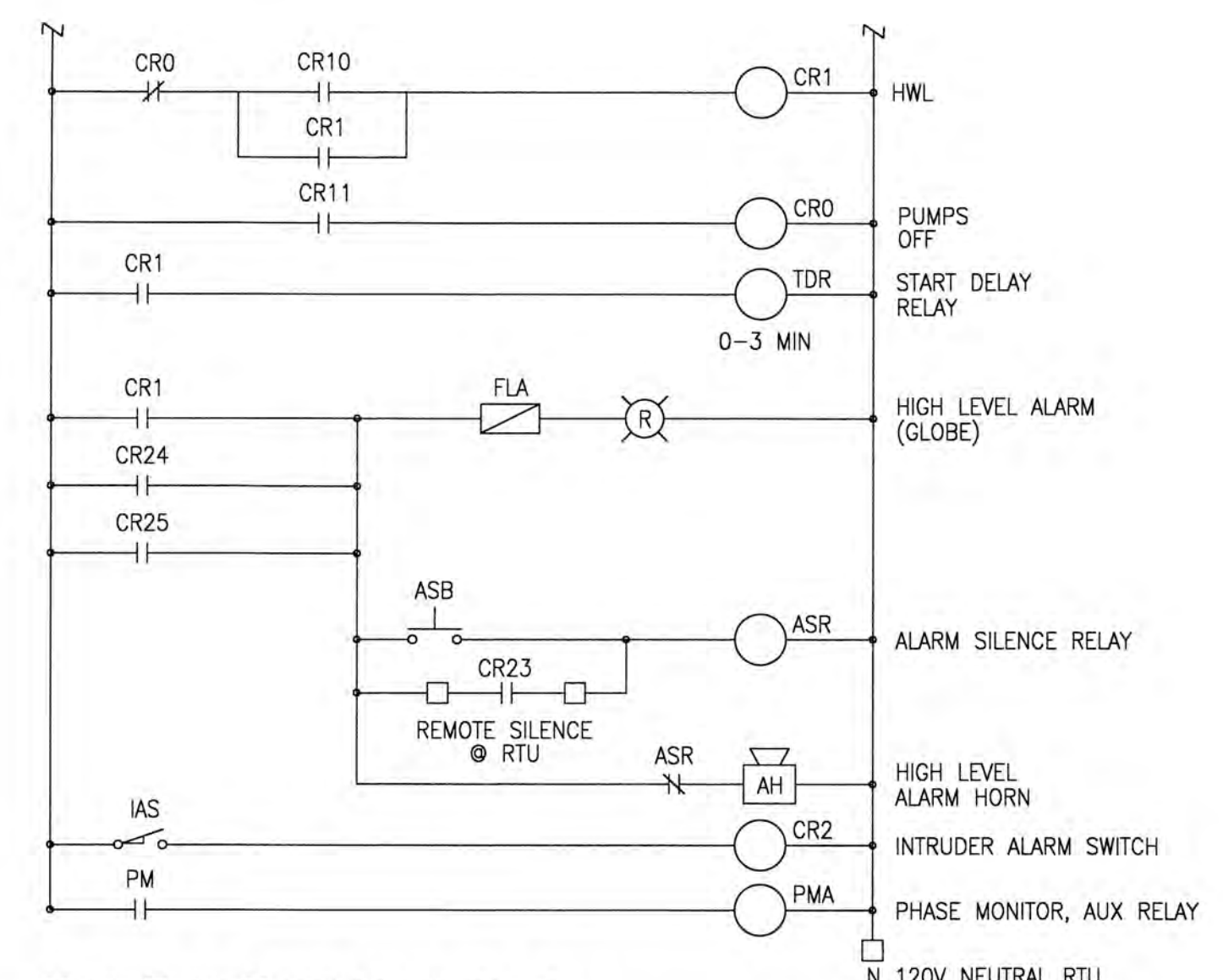
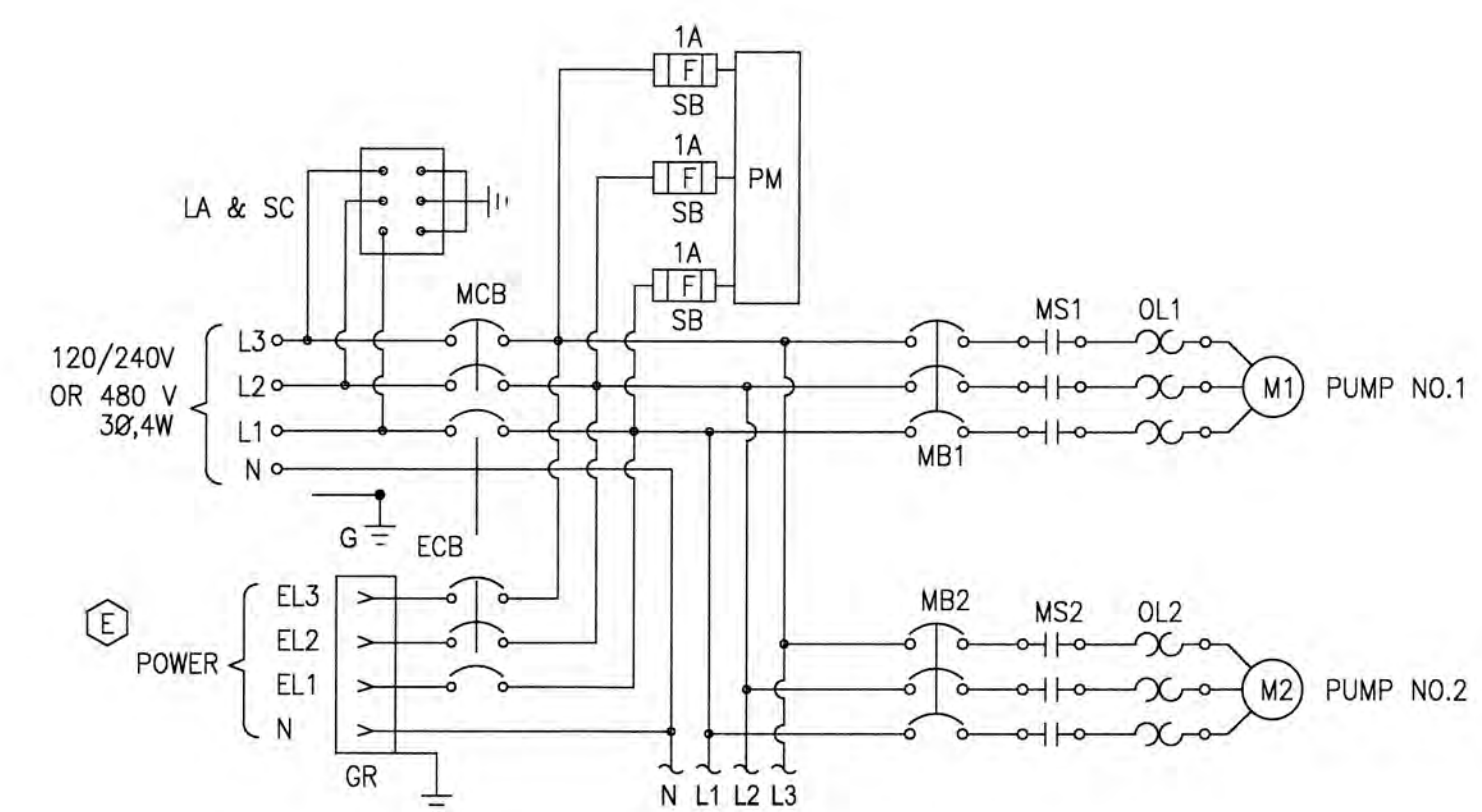
No.	REVISIONS	DATE	BY

SCALE: _____
 DESIGNED BY: ERT
 DRAWN BY: ERT
 CHECKED BY: PJG

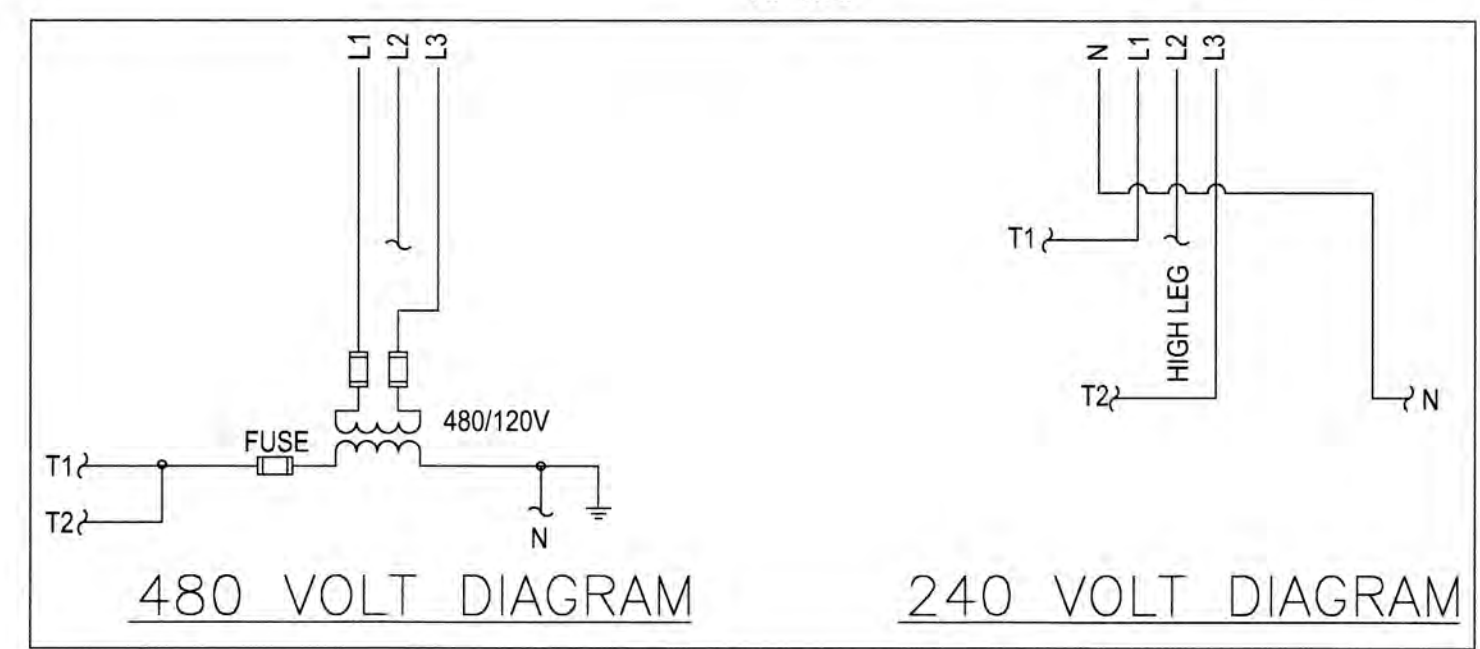
BAPTIST HEALTH SOUTH FLORIDA
 12401 WEST OAKLAND PARK BOULEVARD
 SUNRISE, FLORIDA

LIFT STATION DETAILS

DATE: 07/19/2024
 DRAWING NO.: LS-1
 PROJECT NO.: 99-0039-002-01



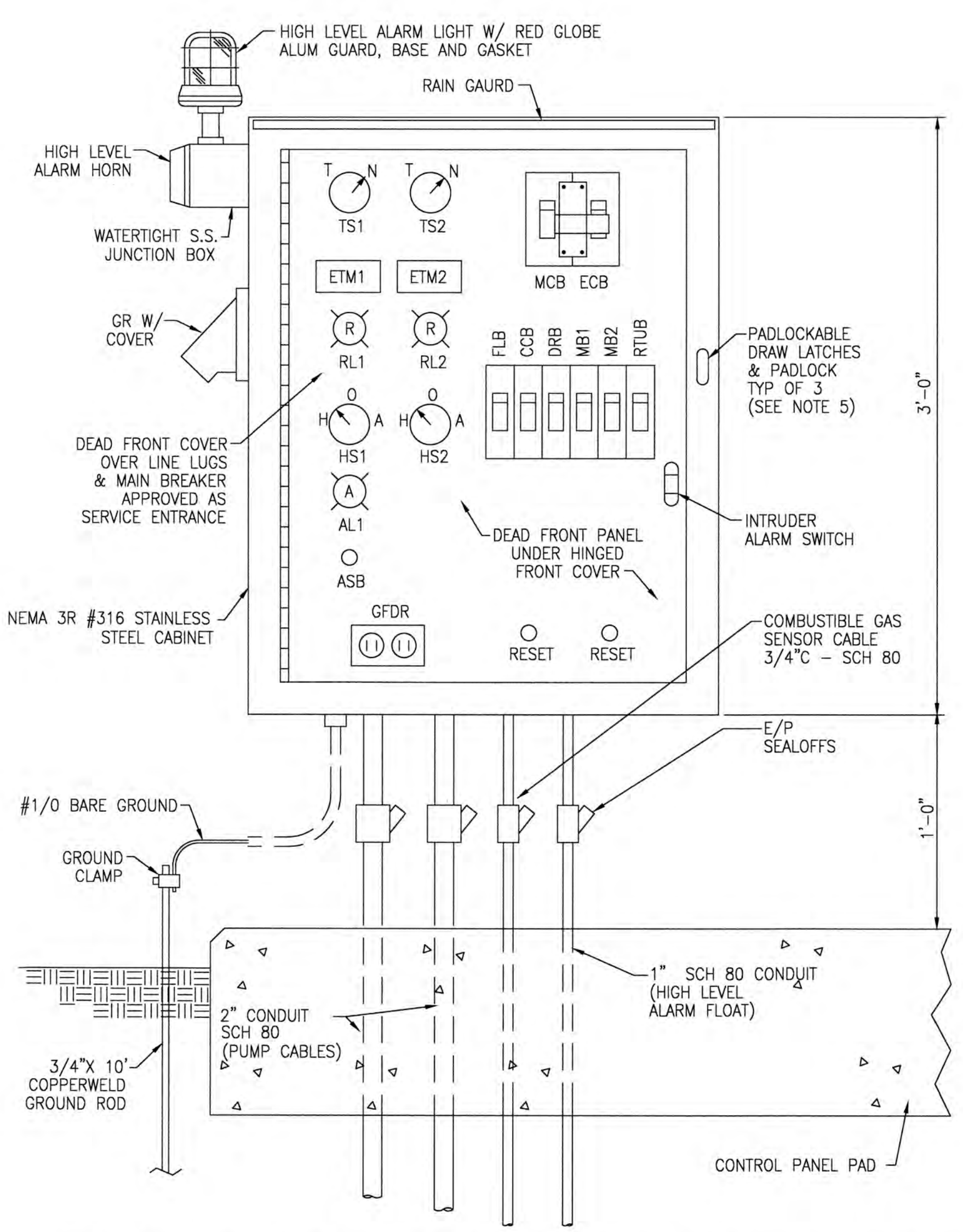
- VENT FLOW FAILURE ALARM
- COMBUSTIBLE GAS ALARM
- M1, PUMP 1 OVERLOAD
- M2, PUMP 2 OVERLOAD
- M1, PUMP 1 RUNNING
- M2, PUMP 2 RUNNING
- PMA, PHASE MONITOR
- CR11, HWL
- CR10, PUMP OFF LEVEL
- CR2, INTRUDER
- CR21 CALL PUMP 1
- CR22 CALL PUMP 2
- CR23 REMOTE SILENCE
- CR24 VENT FLOW MONITOR
- CR25 COMBUSTIBLE GAS MONITOR



PUMP CONTROL & POWER DIAGRAM

ABBREVIATIONS

A AMPS	CGD COMBUSTIBLE GAS DETECTOR	F1 FLOW INDICATOR	IAS INTRUDER ALARM SWITCH	N NEUTRAL	SC SURGE CAPACITOR
AC AIR COMPRESSOR	CP CONTROL PANEL	FL FLOURESCENT LIGHT	ISR INTRINSICALLY SAFE RELAY	OL OVERLOAD HEATERS	SS SELECTOR SWITCH
ACR AIR COMPRESSOR RECEPTACLE	CPT CONTROL POWER TRANSFORMER	FLA FLASHER	L LINE	PB PUSH BUTTON	T TERMINAL
AH ALARM HORN	CR CONTROL RELAY	FLB FLOURESCENT LIGHT BREAKER	LA LIGHTNING ARRESTOR	PM PHASE MONITOR	TDR TIME DELAY RELAY
AL ALARM LIGHT (AMBER)	CT CONTROL TRANSFORMER	FS FLOAT SWITCH	LI WETWELL LEVEL INDICATOR	PNL PANEL	TS TERMINAL STRIP
ALT ALTERNATOR	DRB DUPLEX RECEPTACLE BREAKER	GFDG GROUND FAULT DUPLEX RECEPTACLE	LR LEVEL RELAY	PS PRESSURE SWITCH	
ASB ALARM SILENCE BUTTON	ECB EMERGENCY CIRCUIT BREAKER	G GENERATOR RECEPTACLE	M MOTOR	R RED	
ATS ALTERNATOR TEST SWITCH	EP EXPLOSION PROOF	G GROUP	MB MOTOR BREAKER	RL PUMP RUN INDICATOR	
AUX AUXILIARY	EPR EMERGENCY POWER RECEPTACLE	HLA HIGH LEVEL ALARM	MCB MAIN CIRCUIT BREAKER	RTU PUMP CONTROL MODULE	
C CONDUIT	ETM ELAPSED TIME METER	HOR HAND-OFF-REMOTE	MI MECHANICAL INTERLOCK	RTUB PUMP CONTROL MODULE BREAKER	
CCB CONTROL CIRCUIT BREAKER	F FUSE	HS HAND SWITCH	MS MOTOR STARTER	SB SLOW BLOW	



PUMP CONTROL PANEL FRONT ELEVATION

NOTES:

- CONTRACTOR SHALL VERIFY AVAILABILITY OF PROPER VOLTAGE AND POWER AVAILABILITY WITH FLORIDA POWER & LIGHT COMPANY FOR PUMP STATION LOCATION PRIOR TO ORDERING EQUIPMENT.
- CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS FOR ELECTRICAL SERVICE WITH FLORIDA POWER & LIGHT COMPANY 60 TO 90 DAYS PRIOR TO DATE SERVICE WILL BE REQUIRED.
- NOTIFY ENGINEER OF ANY DISCREPANCIES.
- INDICATES FIELD CONNECTION TERMINAL BETWEEN C/P & PLC/RTU.
- PADLOCK SHALL BE PROVIDED BY OWNER.
- SEE SPECIFICATIONS SECTION 13700-PROCESS INSTRUMENTATION AND CONTROLS, FOR ADDITIONAL INFORMATION.
- LEAVE A MINIMUM OF 5' OF SLACK IN PUMP CABLES, FLOAT CABLES, ETC. IN WETWELL IN CASE E/P SEALOFFS HAVE TO BE REPLACED. PROVIDE CONDUIT SLEEVE FOR PENETRATIONS TO WETWELL.

LEAVE BLANK - FOR CITY USE ONLY

LEAVE BLANK - FOR CITY USE ONLY

Designed By:	
Drawn By:	
Checked By:	

CITY OF SUNRISE
 REGISTERED ENGINEER NO. _____ DATE: _____
 STATE OF FLORIDA

LIFT STATION ELECTRICAL DETAILS
 (240V AND 480V, 3 PH)

PROJECT NUMBER: **C-29**
 ORIGINAL ISSUE DATE: 04/10/98
 NOT TO SCALE
 12-0093-001-04

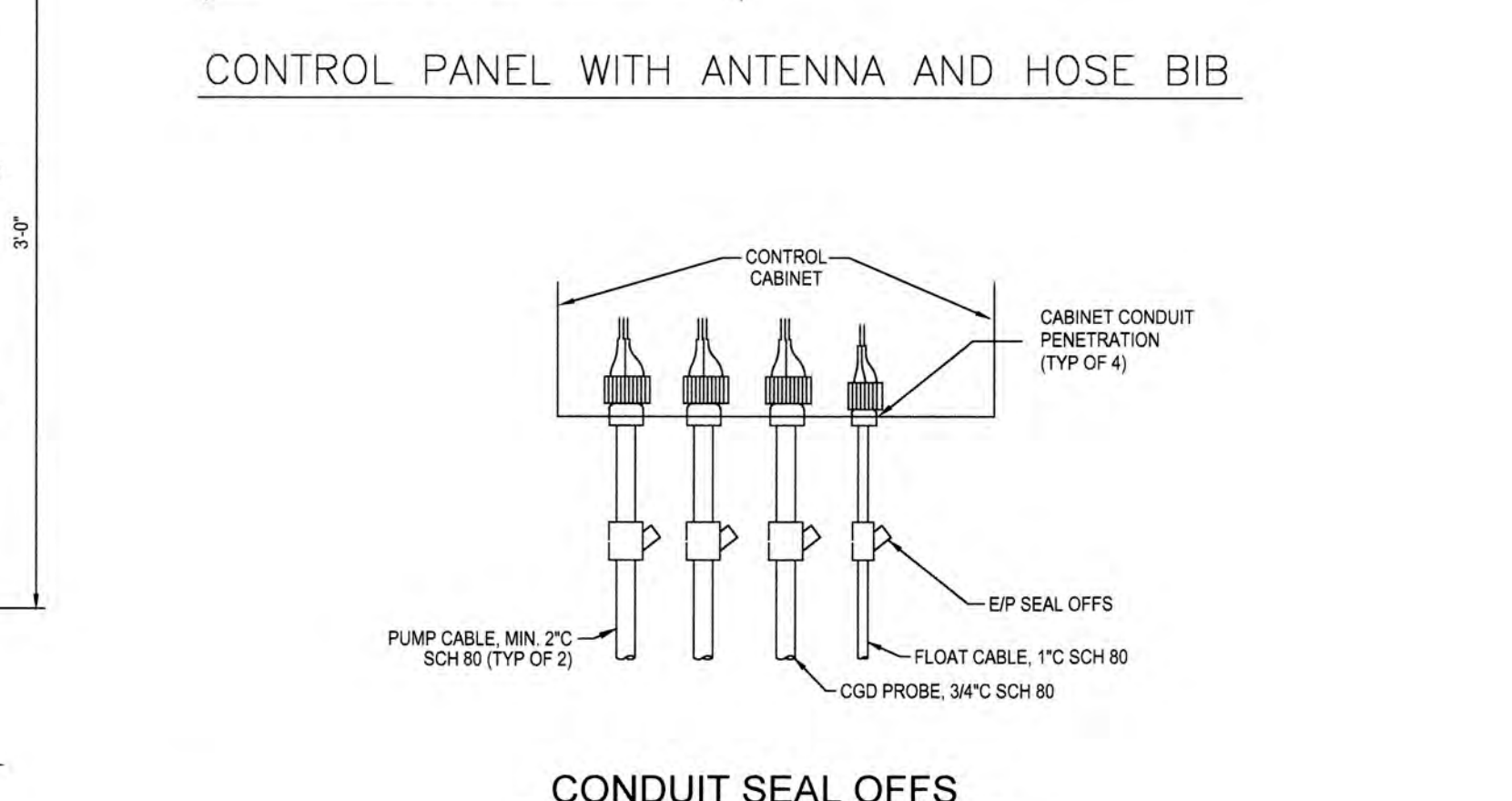
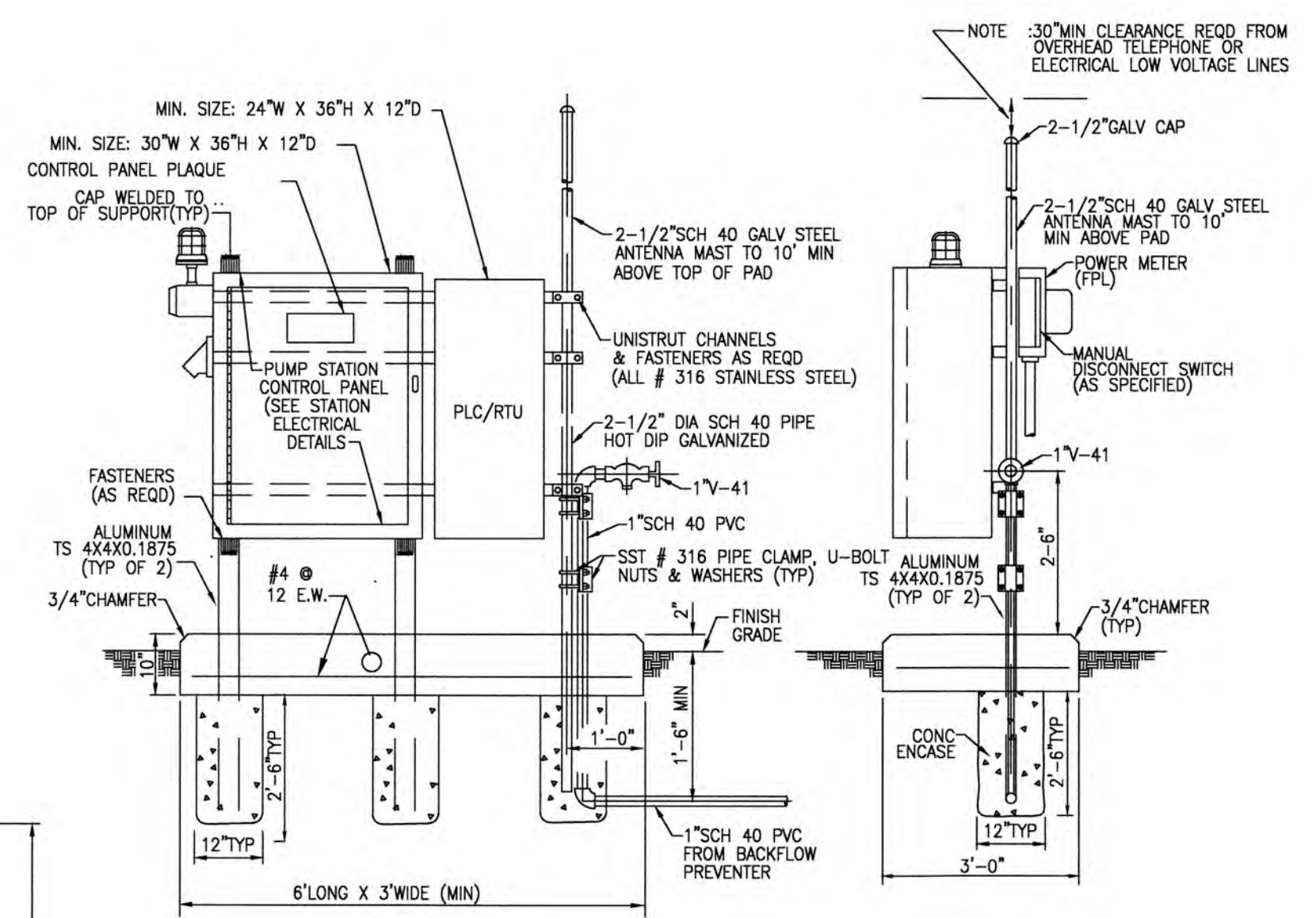
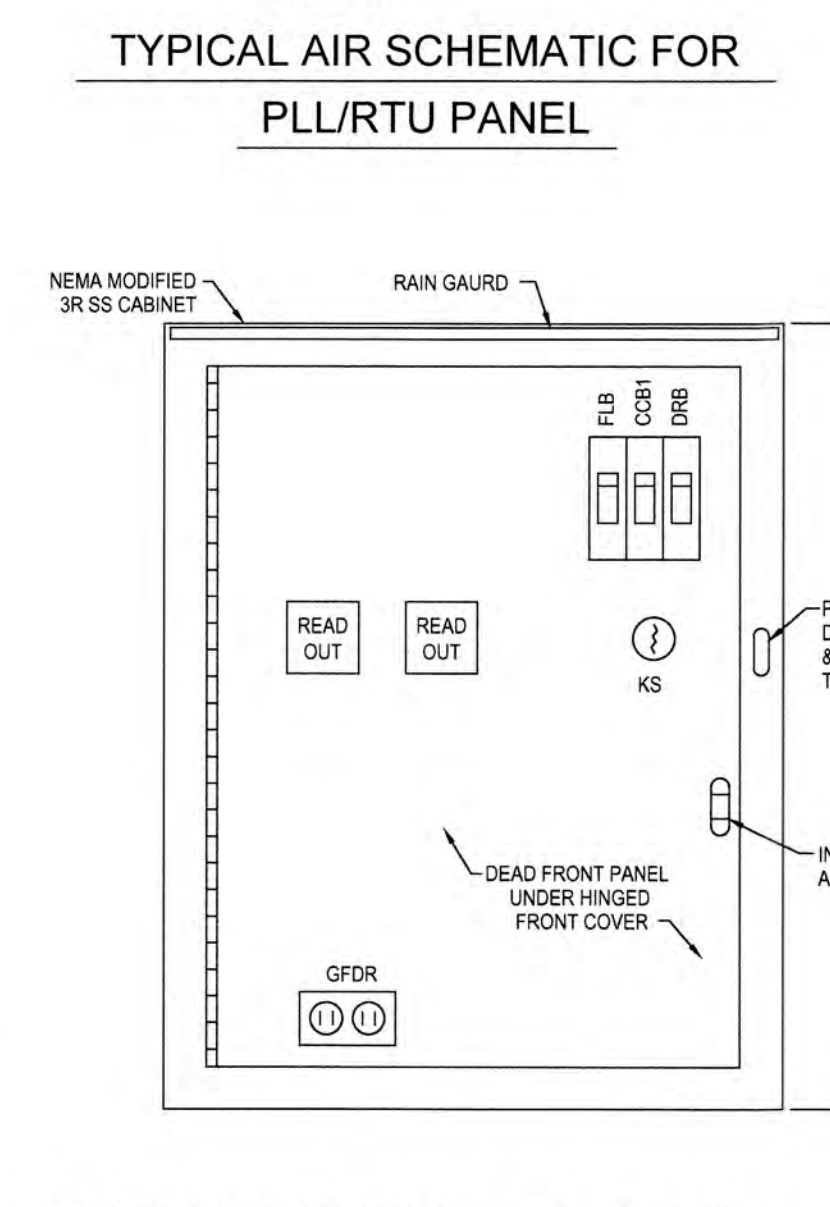
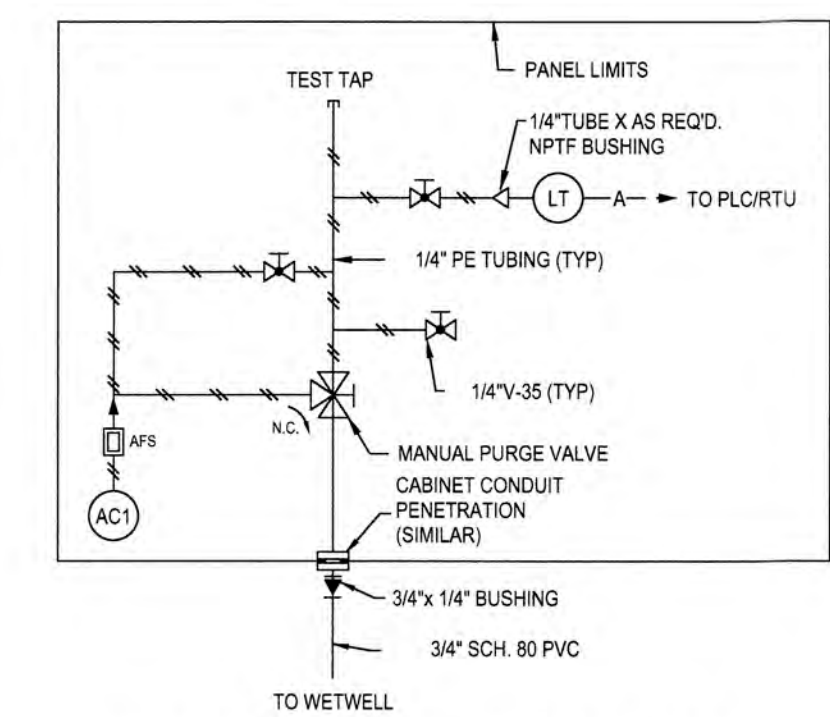
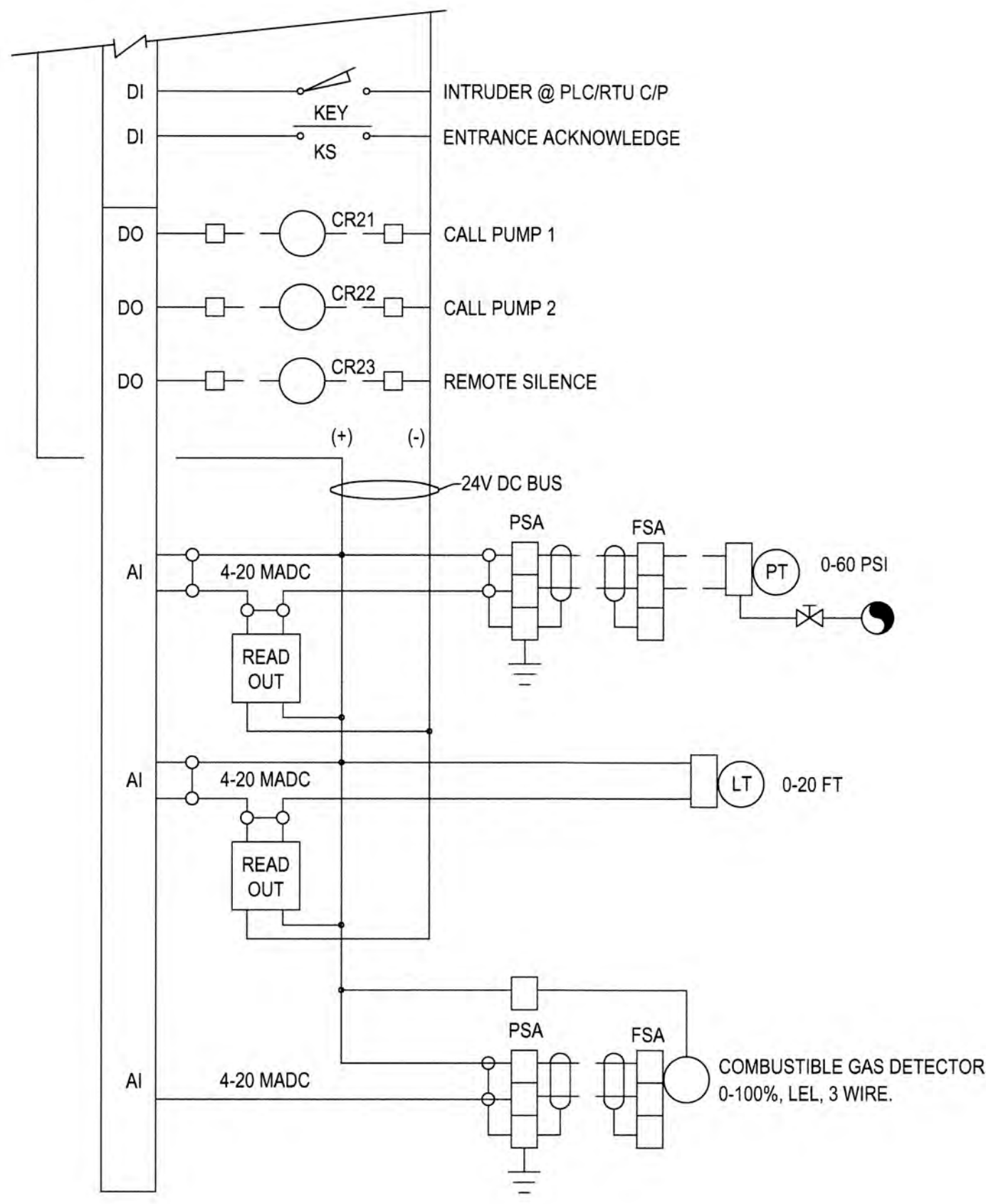
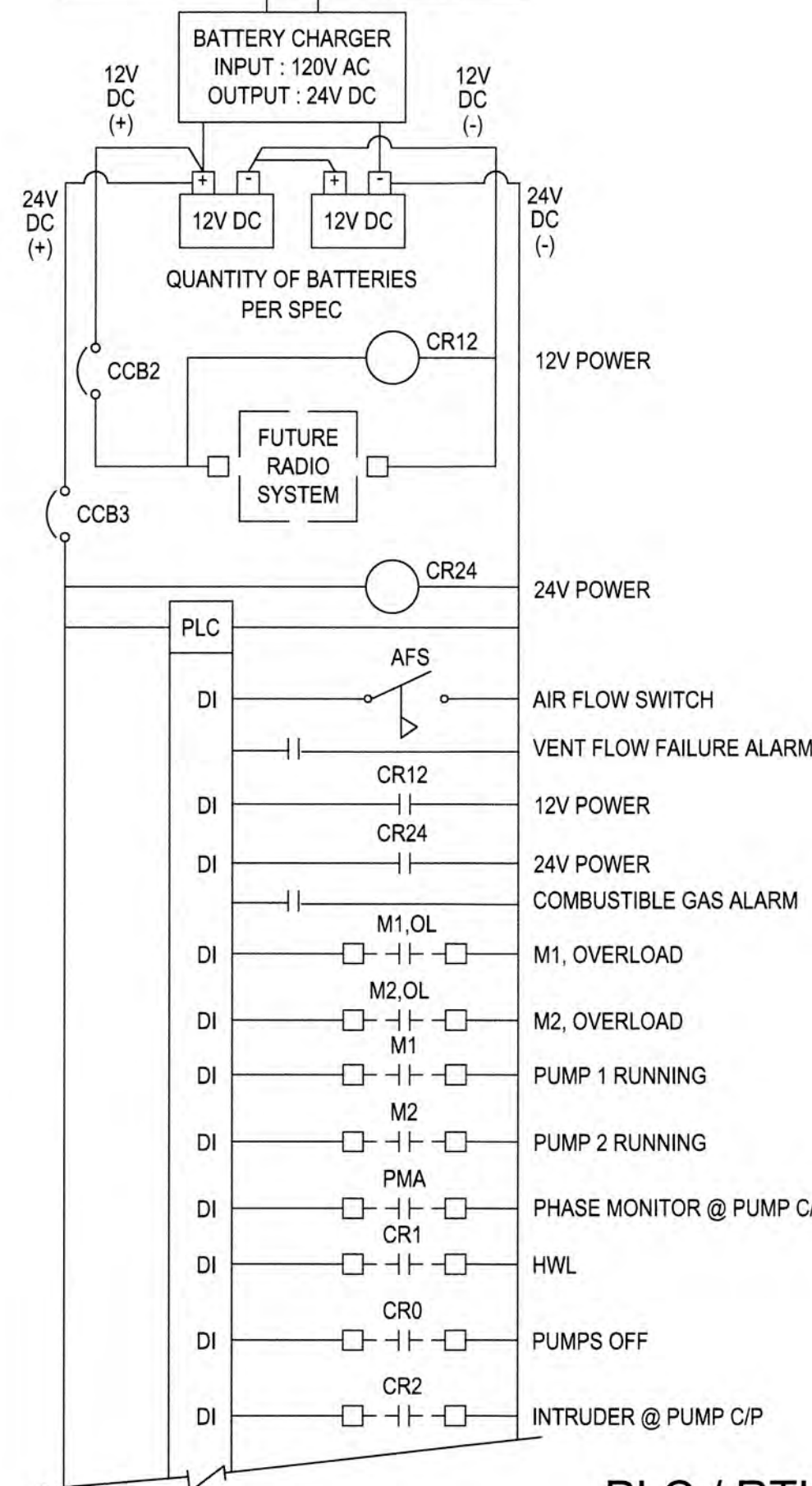
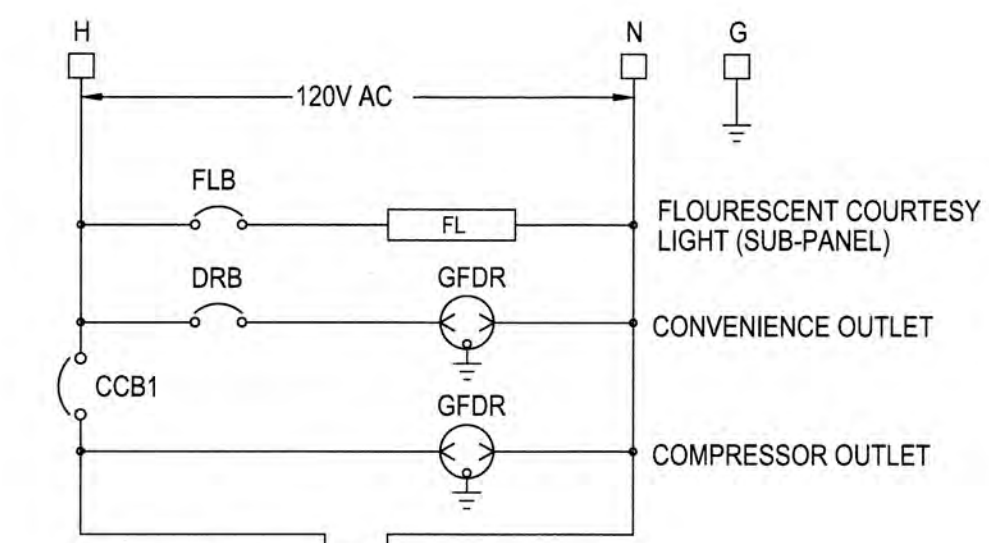
NO.	REVISIONS	DATE	BY

SCALE: _____
 DESIGNED BY: ERT
 DRAWN BY: ERT
 CHECKED BY: PJG

BAPTIST HEALTH SOUTH FLORIDA
 12401 WEST OAKLAND PARK BOULEVARD
 SUNRISE, FLORIDA

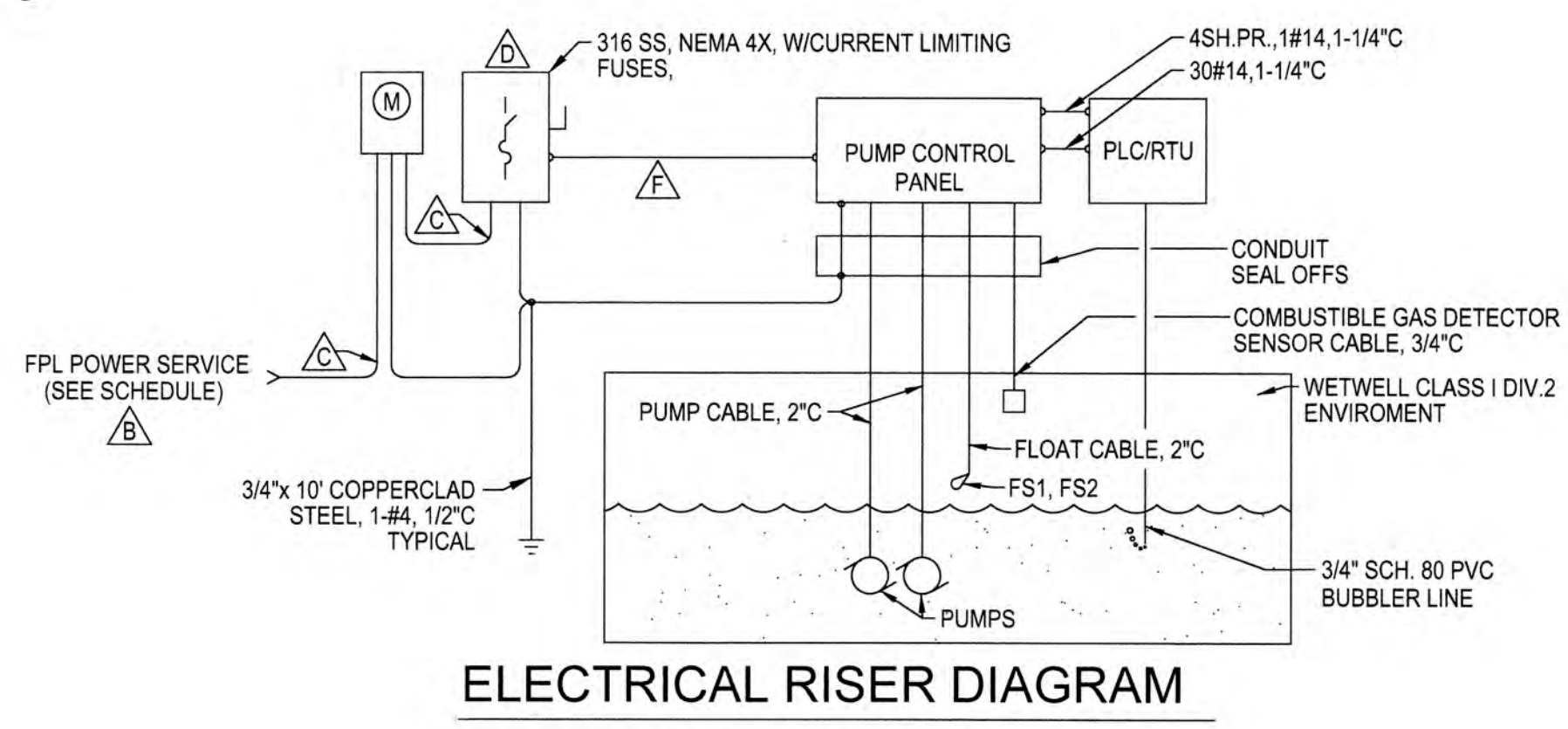
LIFT STATION DETAILS

DATE: 07/19/2024
 DRAWING NO.: LS-2
 PROJECT NO.: 99-0039-002-01



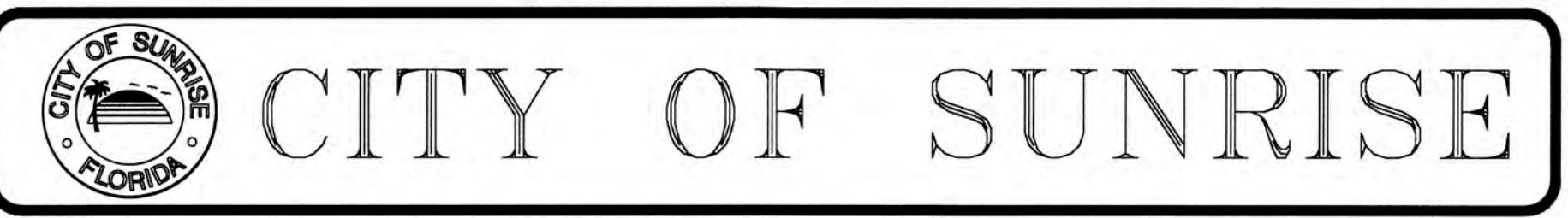
POWER SERVICE SCHEDULE								
A	B	C	D	E				
MOTOR SIZE (HP)	VOLTAGE/ PHASE	MAIN POWER FEEDER (WIRE, CONDUIT)	MAIN FUSE / DISC. (AMPS)	EMERGENCY GEN RECEPT (AMPS)	FUSE DISC. TO DBL. THR. SW. & C/P (WIRE, CONDUIT)	MCB /ECB (AMPS)	MB1 /MB2 (AMPS)	MS1 /MS2 (NEMA)
7.5	240V/3Ø	4#3, 1-1/2" C	100/100	100	5#3, 1-1/2" C	100	60	2
25	480V/3Ø	4#3, 1-1/2" C	100/100	200	4#3, 1-1/2" C	100	70	3

NOTE: SEE SPECIFICATIONS SECTION 11310-SUBMERSIBLE PUMP STATION-GENERAL AND SECTION 16050-ELECTRICAL GENERAL PROVISIONS FOR ADDITIONAL INFORMATION.



- GENERAL ELECTRICAL NOTES
1. PROVIDE SPACE IN PLC/RTU FOR FUTURE RADIO/MODEM AND AUXILIARY EQUIPMENT.
 2. ALL CONDUIT AND BUBBLER PENETRATIONS TO WETWELL AND VALVE BOX SHALL BE SLEEVED.

Designed By:				
Drawn By:				
Checked By:				
SYMBOL	NO.	DATE	REVISIONS	BY



APPROVED BY: _____
 REGISTERED ENGINEER NO. _____
 STATE OF FLORIDA

PROCESS INSTRUMENTATION AND CONTROLS

ORIGINAL ISSUE DATE: 04/10/08

PROJECT NUMBER: 12-0093-001-04

C-30

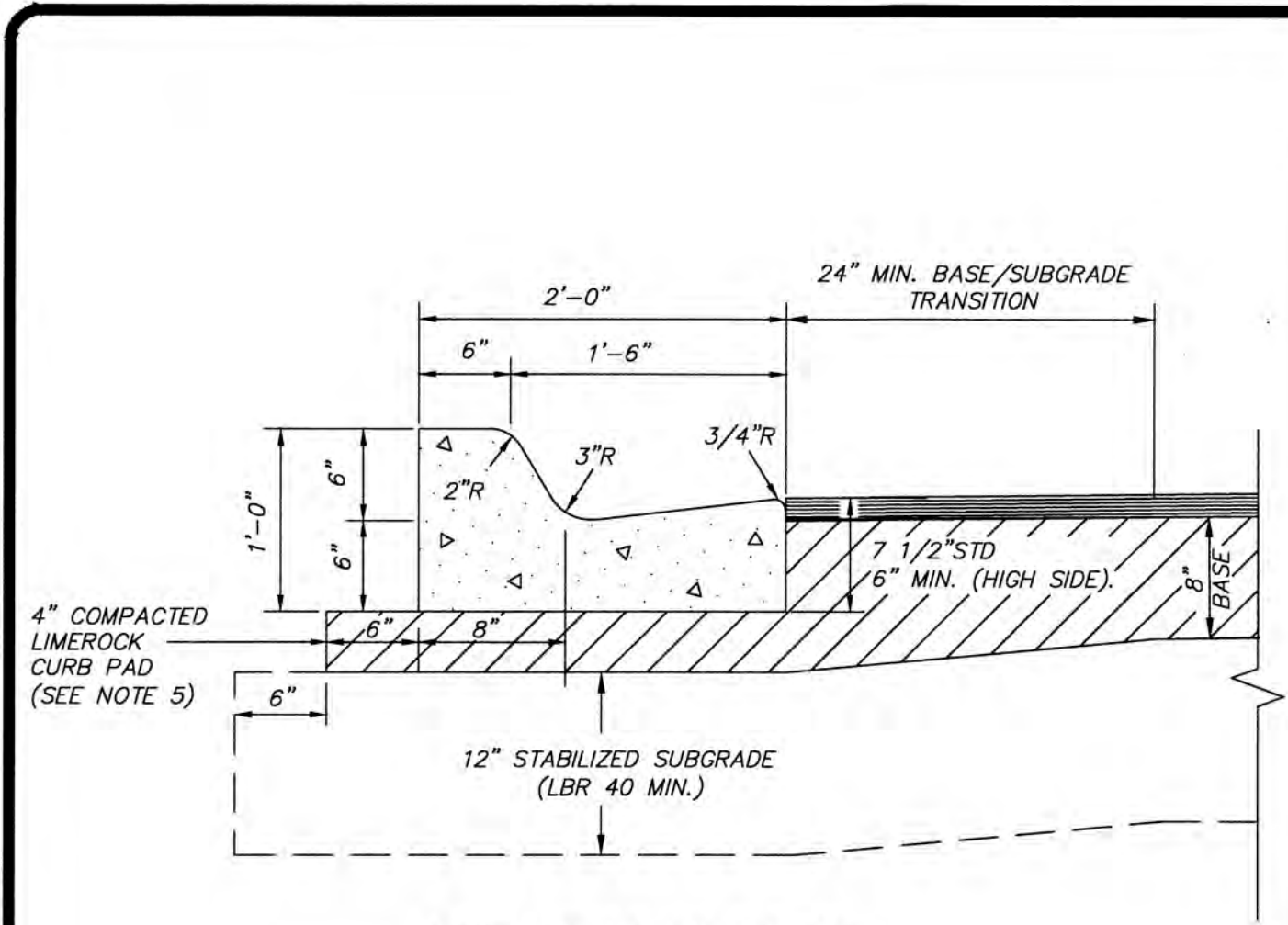
No.	REVISIONS	DATE	BY

SCALE: _____
 DESIGNED BY: ERT
 DRAWN BY: ERT
 CHECKED BY: PJS

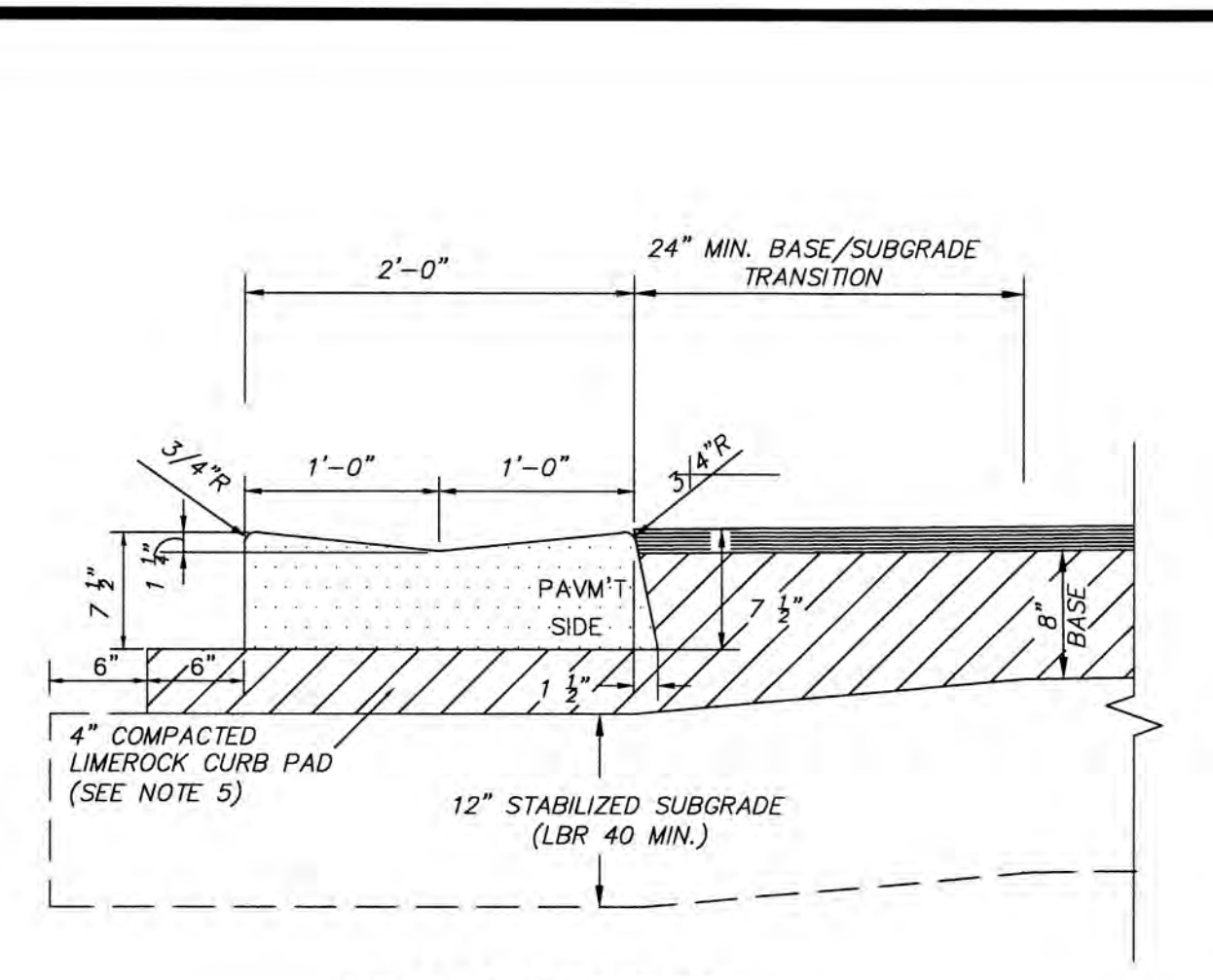
BAPTIST HEALTH SOUTH FLORIDA
 12401 WEST OAKLAND PARK BOULEVARD
 SUNRISE, FLORIDA

LIFT STATION DETAILS

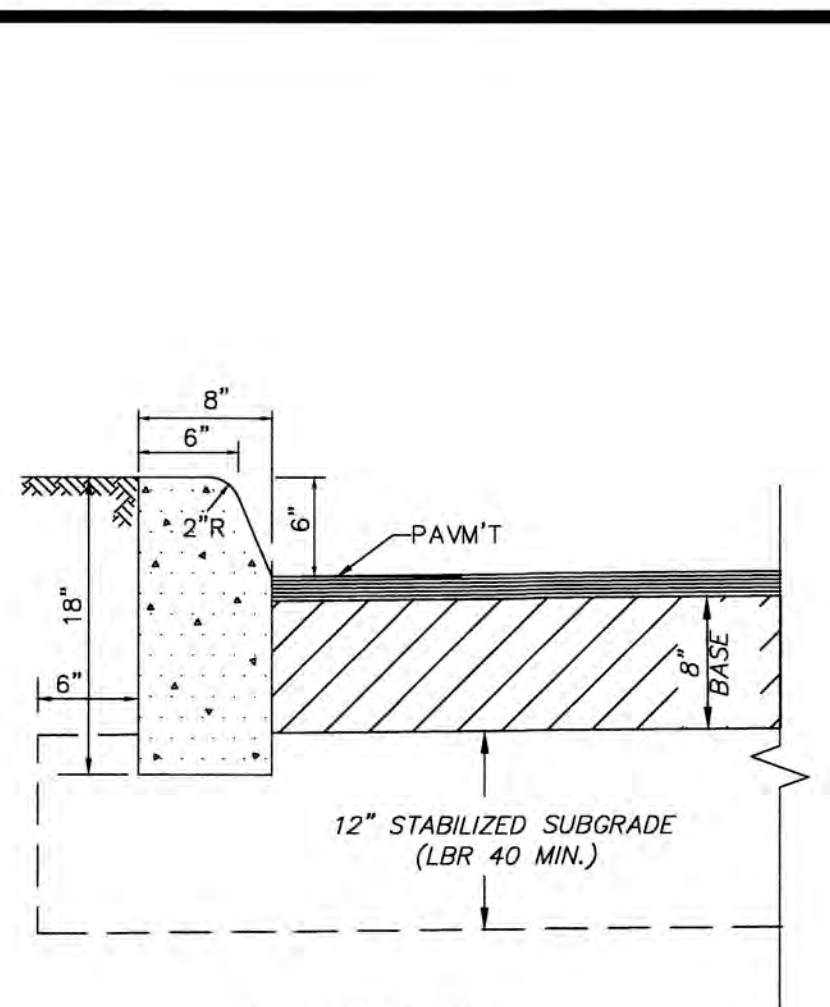
DATE: 07/19/2024
 DRAWING NO.: LS-3
 PROJECT NO.: 99-0039-002-01



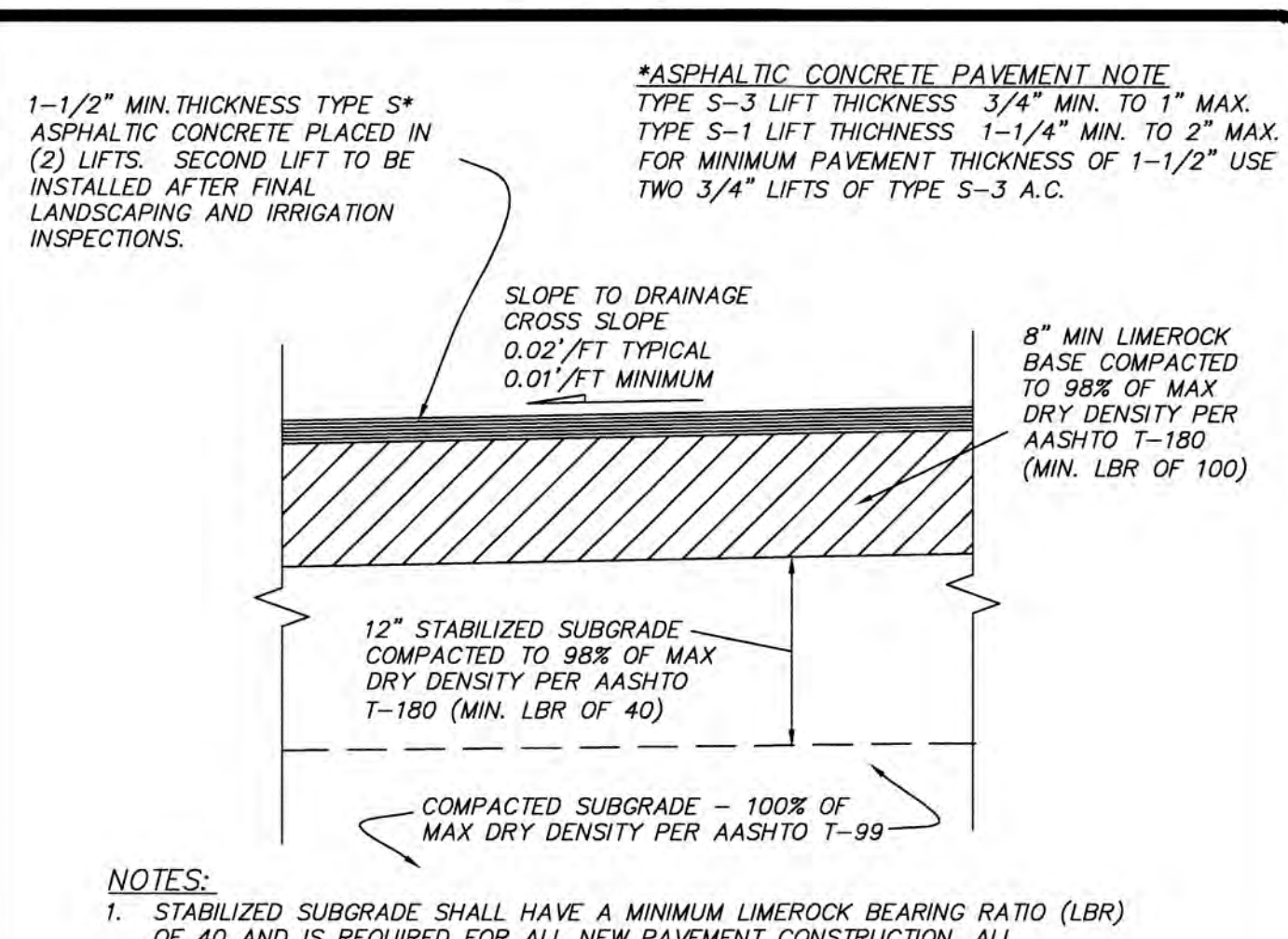
TYPE "F" CURB AND GUTTER
N.T.S.



2' VALLEY GUTTER CURB
N.T.S.



TYPE "D" CURB
N.T.S.



**ASPHALTIC CONCRETE PAVEMENT DETAIL
MINOR ROADWAYS AND PARKING LOTS**
D-20
NOT TO SCALE

- CURB NOTES:**
- WHEN USED ON THE HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF TYPE "F" GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT.
 - PROVIDE 1/4" WIDE CONTRACTION JOINT A MINIMUM OF 1-1/2" DEEP AND AT 10' SPACING MAXIMUM FOR ALL CURBS.
 - CONCRETE SHALL BE 3000 P.S.I. MIN. @ 28 DAYS.
 - FOR COMMUNITY DEVELOPMENT DEPARTMENT CAPITAL PROJECT DIVISION PROJECTS COST OF CURB PAD TO BE INCLUDED IN COST OF CURB.
 - COMPACT CURB PAD TO A DENSITY OF 98% OF AASHTO T-180 SPECIFICATION.

- CURB NOTES:**
- PROVIDE 1/4" WIDE CONTRACTION JOINT A MINIMUM OF 1-1/2" DEEP AND AT 10' SPACING MAXIMUM FOR ALL CURBS.
 - CONCRETE SHALL BE 3000 P.S.I. MIN. @ 28 DAYS.
 - FOR COMMUNITY DEVELOPMENT DEPARTMENT CAPITAL PROJECT DIVISION PROJECTS COST OF CURB PAD TO BE INCLUDED IN COST OF CURB.
 - SEE PAVEMENT MINIMUM PAVEMENT DESIGN SECTION FOR COMPACTION REQUIREMENTS.
 - COMPACT CURB PAD TO A DENSITY OF 98% OF AASHTO T-180 SPECIFICATION.

- CURB NOTES:**
- PROVIDE 1/4" WIDE CONTRACTION JOINT A MINIMUM OF 1-1/2" DEEP AND AT 10' SPACING MAXIMUM FOR ALL CURBS.
 - CONCRETE SHALL BE 3000 P.S.I. MIN. @ 28 DAYS.
 - TYPE "D" CURB FOR PARKING LOTS MAY BE INSTALLED AS "TRENCHED" D CURB WITH EXTRUDED TOP AT THE CONTRACTOR'S OPTION. TRENCHED CURB REQUIRES CITY TRENCH INSPECTION AND APPROVAL. EXTRUDED CURB MUST BE PLACED WITHIN 15 MINUTES OF PLACEMENT OF TRENCH CONCRETE. EXTRUDED CURB AND TRENCH CONCRETE SHALL BE MONOLITHIC.

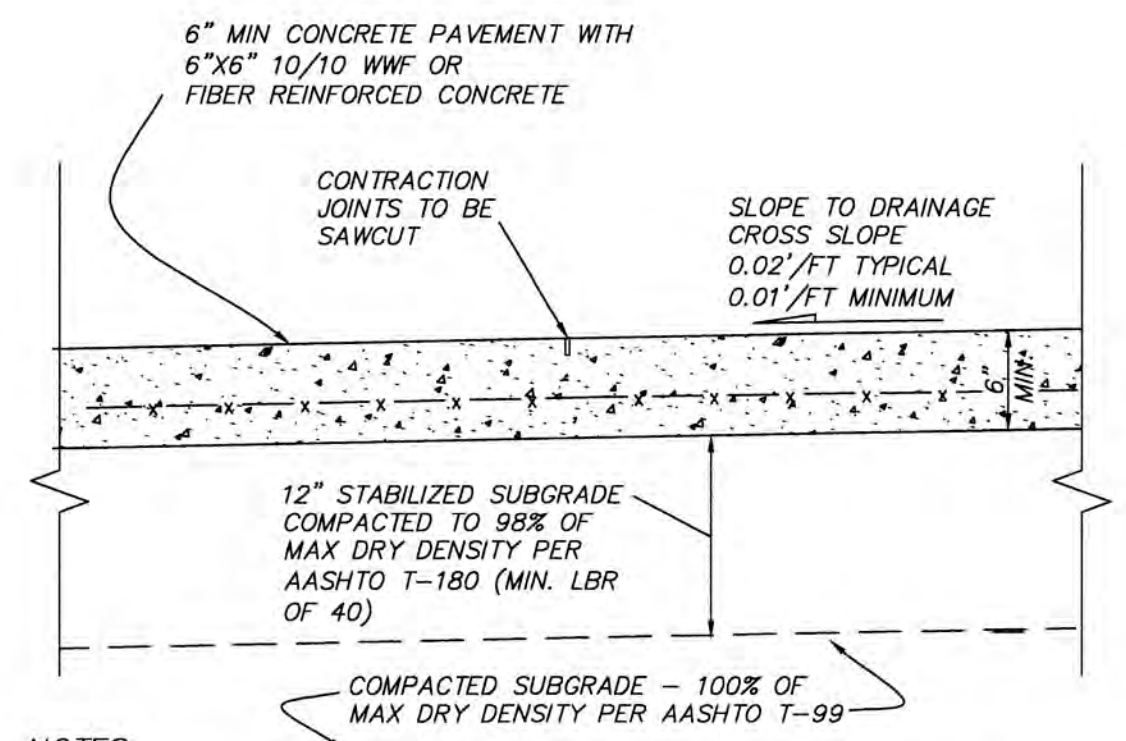
- NOTES:**
- STABILIZED SUBGRADE SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (LBR) OF 40 AND IS REQUIRED FOR ALL NEW PAVEMENT CONSTRUCTION. ALL STABILIZED SUBGRADE SHALL BE STRING LINED FOR GRADE AND PASS ALL REQUIRED DENSITY TESTING PRIOR TO PLACEMENT OF LIMEROCK BASE. AREAS BELOW DESIGN GRADE MAY BE CORRECTED BY PLACEMENT OF ADDITIONAL LIMEROCK MATERIAL. AREAS ABOVE DESIGN GRADE MUST BE CORRECTED AND REINSPECTED PRIOR TO LIMEROCK PLACEMENT.
 - LIMEROCK BASE FOR ROADWAYS AND PARKING LOTS SHALL BE A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM. BASE THICKNESS GREATER THAN 8" SHALL BE PLACED IN EQUAL LIFTS NOT EXCEEDING 6".
 - PRIME COAT SHALL BE APPLIED TO ALL FINISHED LIMEROCK BASE SURFACES AFTER BOARDING AND DENSITY INSPECTIONS. APPLICATION RATES AND MATERIALS SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS.
 - TACK COAT SHALL BE PLACED AS REQUIRED ON EXISTING ASPHALT SURFACES BEFORE APPLICATION OF AN OVERBUILD LAYER AND TO NEW SURFACES BETWEEN LIFTS. APPLICATION RATES AND MATERIALS SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS.
 - FINAL PAVEMENT LIFT CANNOT BE PLACED UNTIL ALL PROJECT LANDSCAPING IS IN PLACE AND THE IRRIGATION SYSTEM IS INSTALLED AND APPROVED.

TYPE "F" CURB & GUTTER DETAILS
D-12
NOT TO SCALE

VALLEY GUTTER CURB DETAILS
D-13
NOT TO SCALE

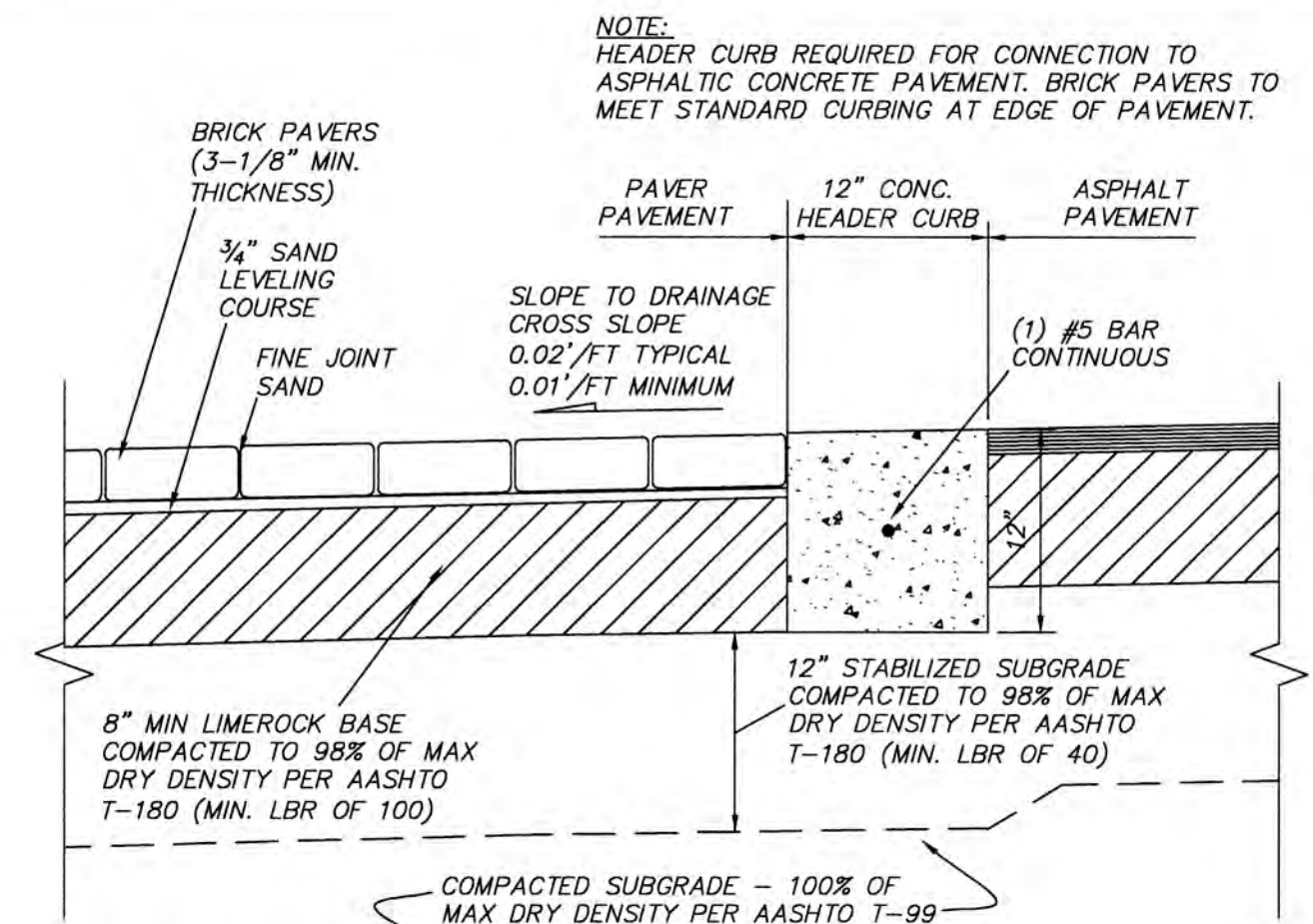
TYPE "D" CURB DETAILS
D-14
NOT TO SCALE

**ASPHALTIC CONCRETE PAVEMENT DETAIL
MINOR ROADWAYS AND PARKING LOTS**
D-20
NOT TO SCALE



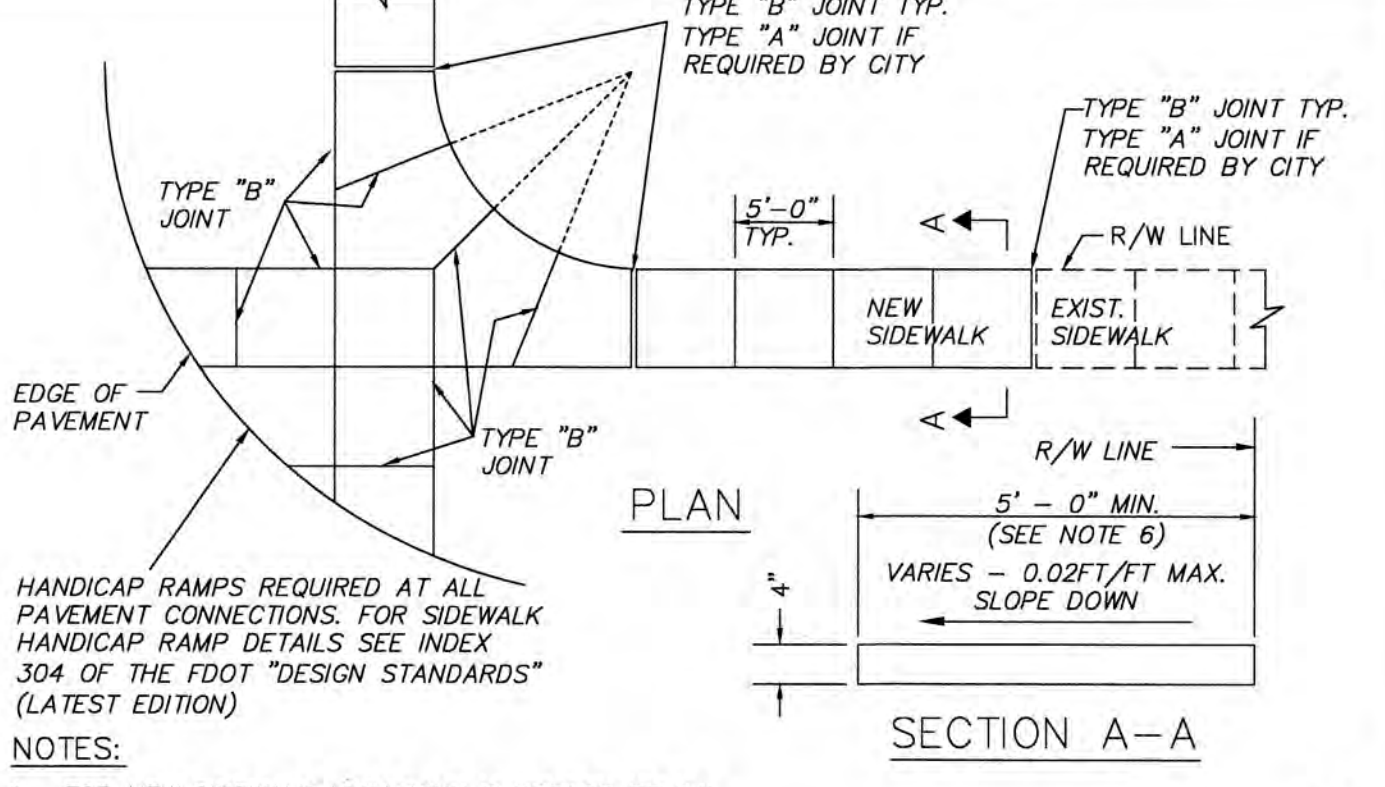
- NOTES:**
- STABILIZED SUBGRADE SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (LBR) OF 40 AND IS REQUIRED FOR ALL NEW PAVEMENT CONSTRUCTION. ALL STABILIZED SUBGRADE SHALL BE STRING LINED FOR GRADE AND PASS ALL REQUIRED DENSITY TESTING PRIOR TO PLACEMENT OF CONCRETE PAVEMENT. ALL AREAS FOUND TO BE ABOVE OR BELOW THE DESIGN GRADE MUST BE CORRECTED AND REINSPECTED PRIOR TO CONCRETE PAVEMENT CONSTRUCTION.
 - CONCRETE PAVEMENT SHALL ACHIEVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
 - DESIGN OF CONSTRUCTION, EXPANSION AND CONTRACTION JOINTS AND LOCATIONS SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER. DESIGN SHALL PROVIDE UNIFORM SPACING AND ACHIEVE CONTROLLED CRACKING. EXPANSION JOINTS ARE REQUIRED WHERE THE CONCRETE PAVEMENT MEETS CURBING.
 - ALL CONCRETE PAVEMENT SHALL BE CURED IN ACCORDANCE WITH FDOT SPECIFICATIONS AND SHALL HAVE A BROOM FINISH.
 - COLOR AND/OR STAMPED CONCRETE PAVEMENT WILL REQUIRE CITY APPROVAL OF BOTH THE COLOR AND STAMP PATTERN.
 - CONCRETE PAVEMENT SHALL BE SAWCUT ALONG ALL CITY OF SUNRISE EASEMENT LINES.
 - USE OF CONCRETE PAVEMENT TO BE APPROVED BY THE CITY OF SUNRISE.

**CONCRETE PAVEMENT DETAIL
MINOR ROADWAYS AND PARKING LOTS**
D-21
NOT TO SCALE



- NOTES:**
- STABILIZED SUBGRADE SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (LBR) OF 40 AND IS REQUIRED FOR ALL NEW PAVEMENT CONSTRUCTION. ALL STABILIZED SUBGRADE SHALL BE STRING LINED FOR GRADE AND PASS ALL REQUIRED DENSITY TESTING PRIOR TO PLACEMENT OF CONCRETE PAVEMENT. ALL AREAS FOUND TO BE ABOVE OR BELOW THE DESIGN GRADE MUST BE CORRECTED AND REINSPECTED PRIOR TO PAVEMENT CONSTRUCTION.
 - LIMEROCK BASE FOR ROADWAYS AND PARKING LOTS SHALL BE A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM. BASE THICKNESS GREATER THAN 8" SHALL BE INSTALLED IN EQUAL LIFTS NOT EXCEEDING 6".
 - BASE PRIME COAT WILL NOT BE REQUIRED FOR BRICK PAVER BASE.
 - SHOP DRAWING AND SUBMITTALS REQUIRED FOR THE PROPOSED PAVER MODULES, PAVER PATTERN, LEVELING SAND AND JOINT SAND MATERIALS. PAVERS SHALL BE LAID LEVEL TO ALL ADJACENT PAVERS AND TO THE FINISH GRADE WITH A TOLERANCE OF 1/4".
 - PAVER PAVEMENT SHALL BE PROTECTED FROM ALL TRAFFIC UNTIL COMPLETED AND APPROVED FOR USE BY THE CITY ENGINEERING DIVISION INSPECTOR.
 - USE OF BRICK PAVER PAVEMENT WILL REQUIRE APPROVAL BY THE CITY. APPROVAL SHALL INCLUDE LOCATION, COLOR AND PAVER PATTERN.

**BRICK PAVER PAVEMENT DETAIL
MINOR ROADWAYS AND PARKING LOTS**
D-22
NOT TO SCALE



- NOTES:**
- FOR NEW SIDEWALK LOCATIONS SUBGRADE BELOW SIDEWALK SHALL BE A MIN. L.B.R.-40 COMPACTED TO 98% OF MAX. DENSITY PER A.A.S.H.T.O. T-180.
 - CONCRETE TO BE 3,000 P.S.I. @ 28 DAYS
 - ALL JOINTS AND EDGES OF NEW SIDEWALK SHALL BE TOOLED. NO SAWCUT JOINTS ARE PERMITTED IN NEW SIDEWALK.
 - THE USE OF WIRE MESH REINFORCEMENT IN SIDEWALK WILL NOT BE PERMITTED
 - SIDEWALK SLOPES SHALL MEET THE REQUIREMENTS OF THE "AMERICAN WITH DISABILITIES ACT". CROSS SLOPES SHALL NOT EXCEED 0.02/FT (2.0%).
 - ALL SIDEWALKS SHALL BE 4" THICK EXCEPT AT DRIVEWAY CROSSINGS AND OTHER VEHICULAR CROSSING AREAS WHERE THE SIDEWALK SHALL BE A MINIMUM OF 6" THICK.
 - MINIMUM WIDTH OF SIDEWALK PLACED AT BACK OF CURB IS 5'-0".
 - FOR TYPE "A" EXPANSION JOINTS PRE-MOULDED EXPANSION MATERIAL IS NOT PERMITTED. EXPANSION JOINTS TO BE USED ONLY IF APPROVED BY THE ENGINEERING DIVISION AND SHALL BE SEALED WITH APPROVED FLEXIBLE RUBBERIZED CAULK.
 - SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH.

SIDEWALK CONSTRUCTION DETAILS
D-17
NOT TO SCALE

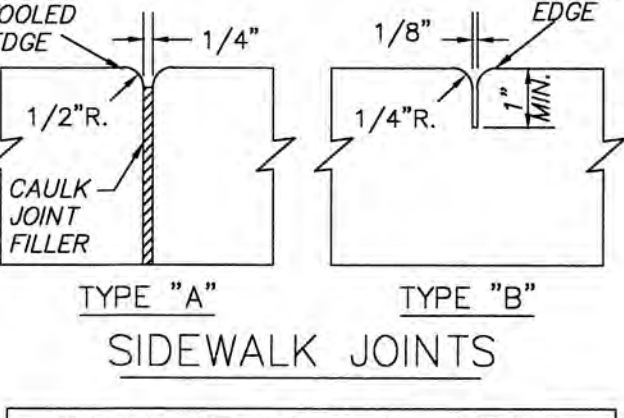


TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	ONLY WHERE DIRECTED BY THE CITY
"B"	5'-0" MINIMUM CENTER TO CENTER ON SIDEWALK

CONTROL JOINTS ARE REQUIRED AT THE EASEMENT LINES FOR WATER AND SANITARY LINES AND EVERY 15 FEET PERPENDICULAR TO CITY OF SUNRISE UTILITY EASEMENTS.

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Designed By: _____
 Drawn By: _____
 Checked By: _____

SYMBOL	NO.	DATE	REVISIONS	BY

CITY OF SUNRISE FLORIDA
 COMMUNITY DEVELOPMENT DEPARTMENT
 ENGINEERING DIVISION
STANDARD PAVING & DRAINAGE DETAILS

PROJECT ENGINEER OF RECORD

 LICENSE NO.: _____
 STATE OF FLORIDA

PROJECT CONSULTANT

PROJECT

DATE

 PROJECT NUMBER

 SHEET NUMBER

No.	REVISIONS	DATE	BY

SCALE
 DESIGNED BY: ERT
 DRAWN BY: ERT
 CHECKED BY: PJG

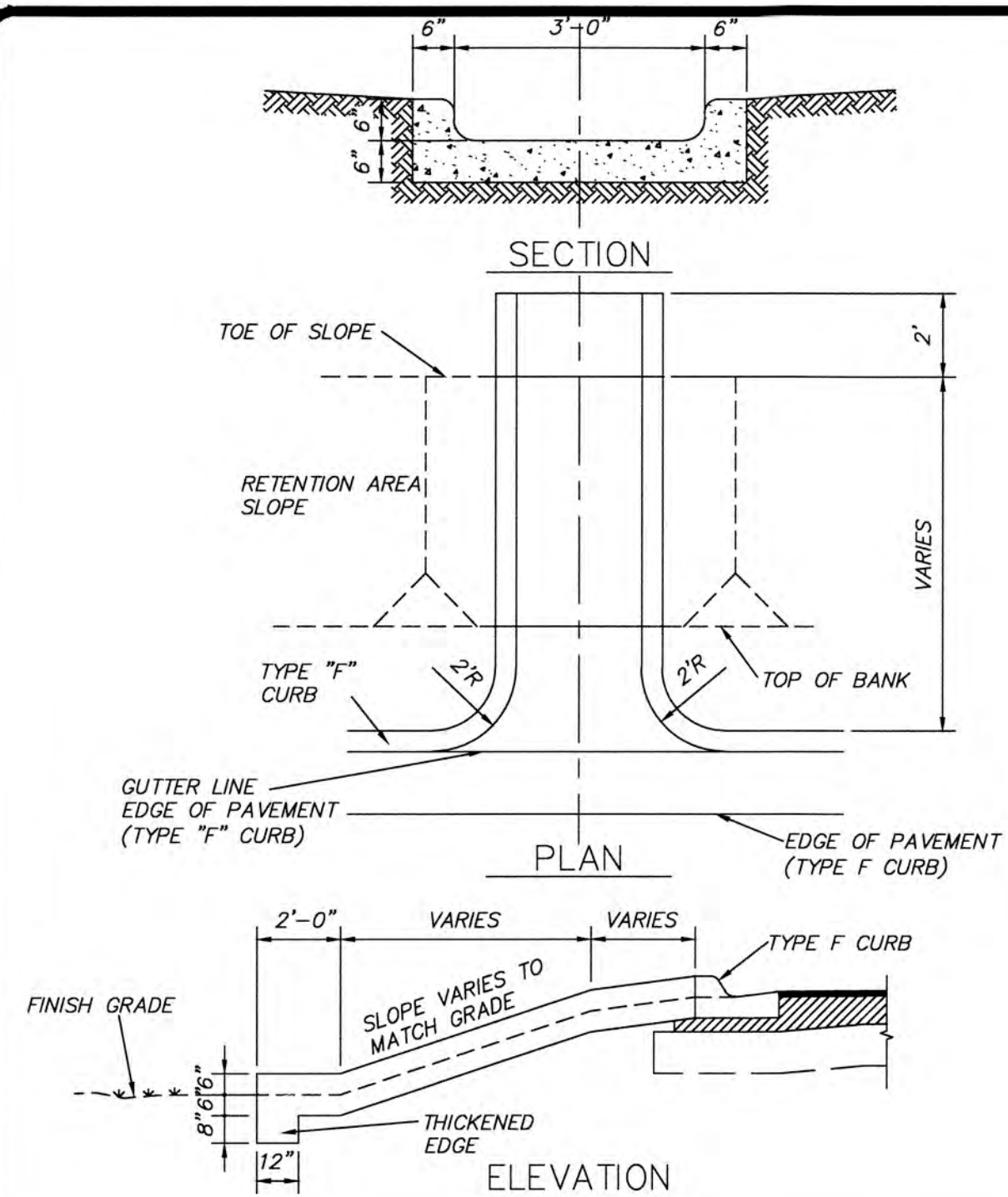
CRAVEN THOMPSON AND ASSOCIATES, INC.
 ENGINEERS • PLANNERS • SURVEYORS

BAPTIST HEALTH SOUTH FLORIDA
 12401 WEST OAKLAND PARK BOULEVARD
 SUNRISE, FLORIDA

SITE PLAN DETAILS

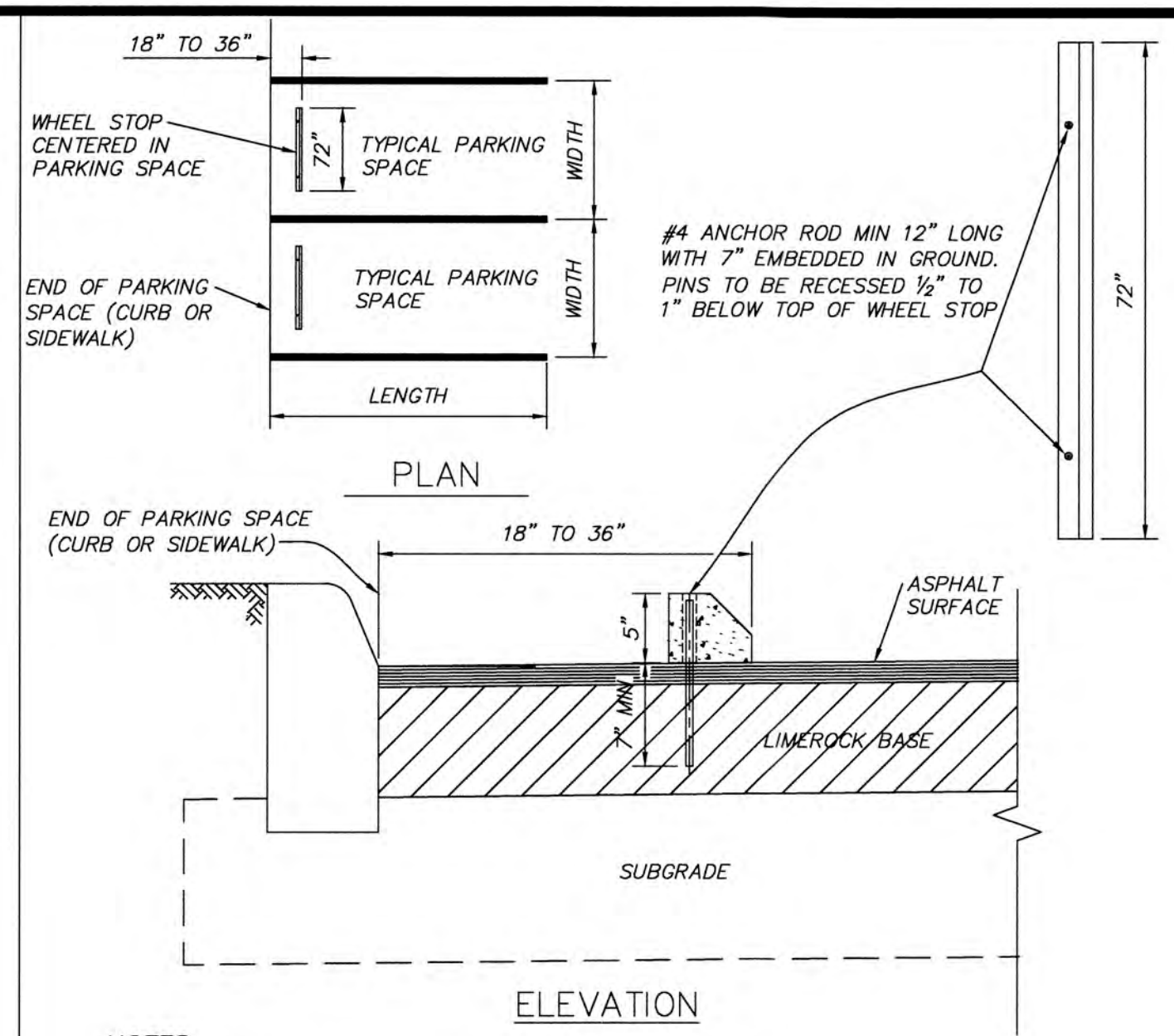
SEAL
 No. 65921
 Leonard Z. Gamble
 Florida P.E., No. 65921
 July 18, 2024

DATE: 07/19/2024
 DRAWING NO.:
 PROJECT NO.: 99-0039-002-01
 SHEET NO.: SPD-1



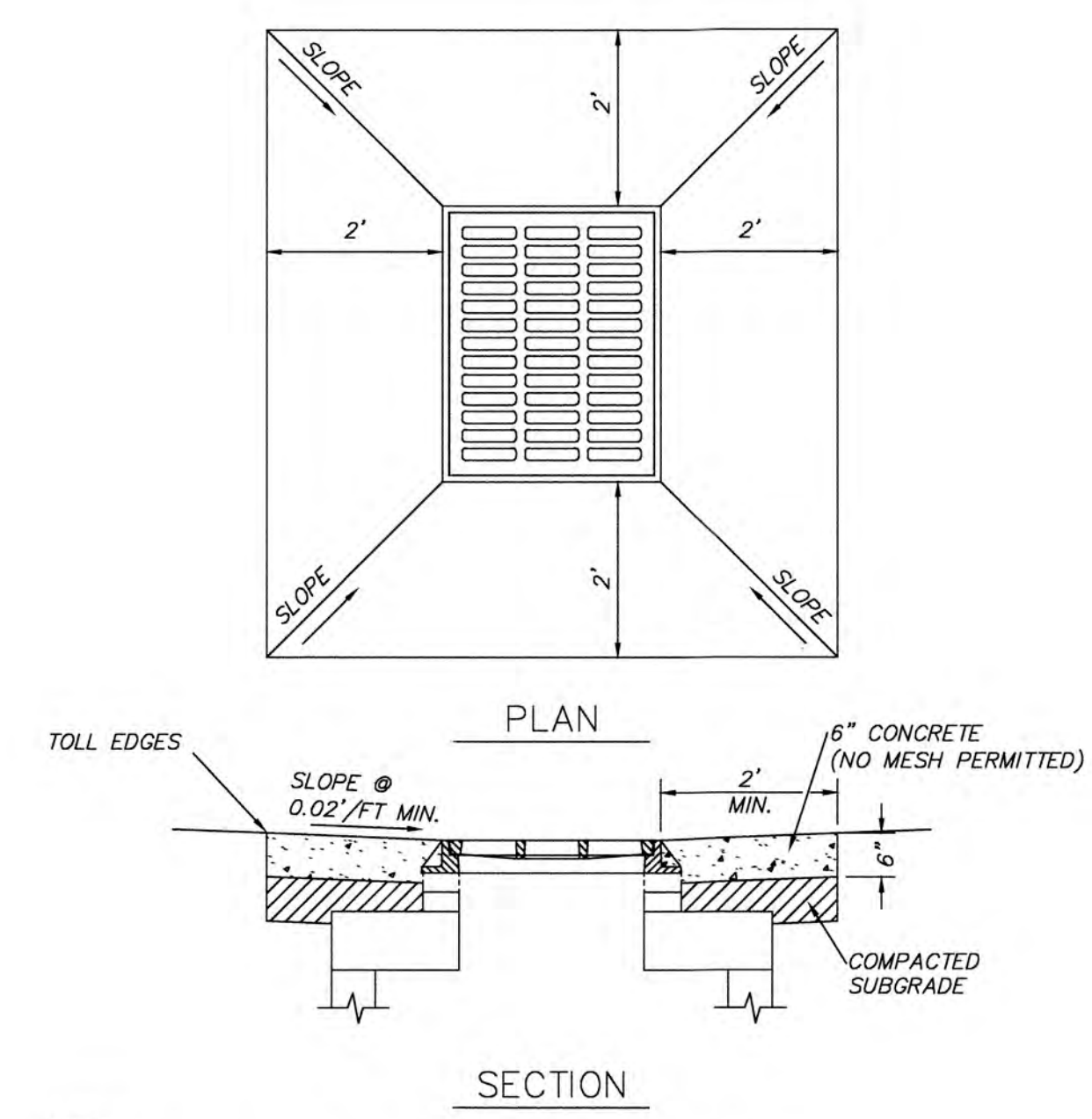
- NOTES:**
1. CONCRETE SHALL BE 3000 P.S.I. MIN. @ 28 DAYS. BROOM FINISH AND TOOL EDGES.
 2. SLOPE OF FLUME SHALL MATCH EXISTING GROUND SLOPE OR 2% MINIMUM.
 3. FLUME SHALL BE CONSTRUCTED ON A COMPACTED SUBGRADE.

CONCRETE FLUME D-24
NOT TO SCALE



- NOTES:**
1. WHEELSTOP SIZES MAY VARY DEPENDING ON MANUFACTURER.
 2. WHEELSTOPS SHALL BE UNPAINTED OR PAINTED WHITE OR YELLOW EXCEPT AT HANDICAP SPACES WHICH SHALL IN ALL CASES BE UNPAINTED.
 3. ANCHOR RODS SHALL BE MINIMUM OF #4 REBAR, 12" LONG WITH 7" MINIMUM EMBEDMENT.
 4. IN PAVEMENT AREAS THE ANCHOR RODS SHALL BE A MINIMUM OF 18" LONG. HOLES SHALL BE PRE-DRILLED.
 5. WHEELSTOPS ARE REQUIRED ON ALL ANGLED PARKING SPACES (EXCEPT PARALLEL SPACES) AND ALL PARKING SPACES LESS THAN 20 FEET IN LENGTH.
 6. DISTANCE FROM END OF PARKING TO FACE OF WHEELSTOP SHALL BE THE SAME THROUGHOUT THE PROJECT.

WHEELSTOP DETAIL D-25
NOT TO SCALE



- NOTES:**
1. CONSTRUCT 2' WIDE (MIN.) APRON AROUND INLET (4 SIDES).
 2. APRON AROUND CATCH BASIN SHALL BE 6" THICK CONCRETE ON COMPACTED SUBGRADE.
 3. CONCRETE SHALL BE 3000 P.S.I. MIN. @ 28 DAYS.
 4. SLOPE OF APRON SHALL MATCH EXISTING GROUND SLOPE OR 2% MINIMUM.
 5. PROVIDE LIGHT BROOM FINISH ON CONCRETE SURFACE AND TOOL ALL EXPOSED EDGES.

CATCH BASIN APRON DETAIL D-18
NOT TO SCALE

Designed By:	
Drawn By:	
Checked By:	

SYMBOL	NO.	DATE	REVISIONS	BY

CITY OF SUNRISE COMMUNITY DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION
STANDARD PAVING & DRAINAGE DETAILS

PROJECT ENGINEER OF RECORD

LICENSE NO.: _____
STATE OF FLORIDA

PROJECT CONSULTANT

PROJECT

DATE

PROJECT NUMBER

SHEET NUMBER

No.	REVISIONS	DATE	BY

SCALE: _____
DESIGNED BY: ERT
DRAWN BY: ERT
CHECKED BY: PJG

Craven Thompson and Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS

BAPTIST HEALTH SOUTH FLORIDA
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

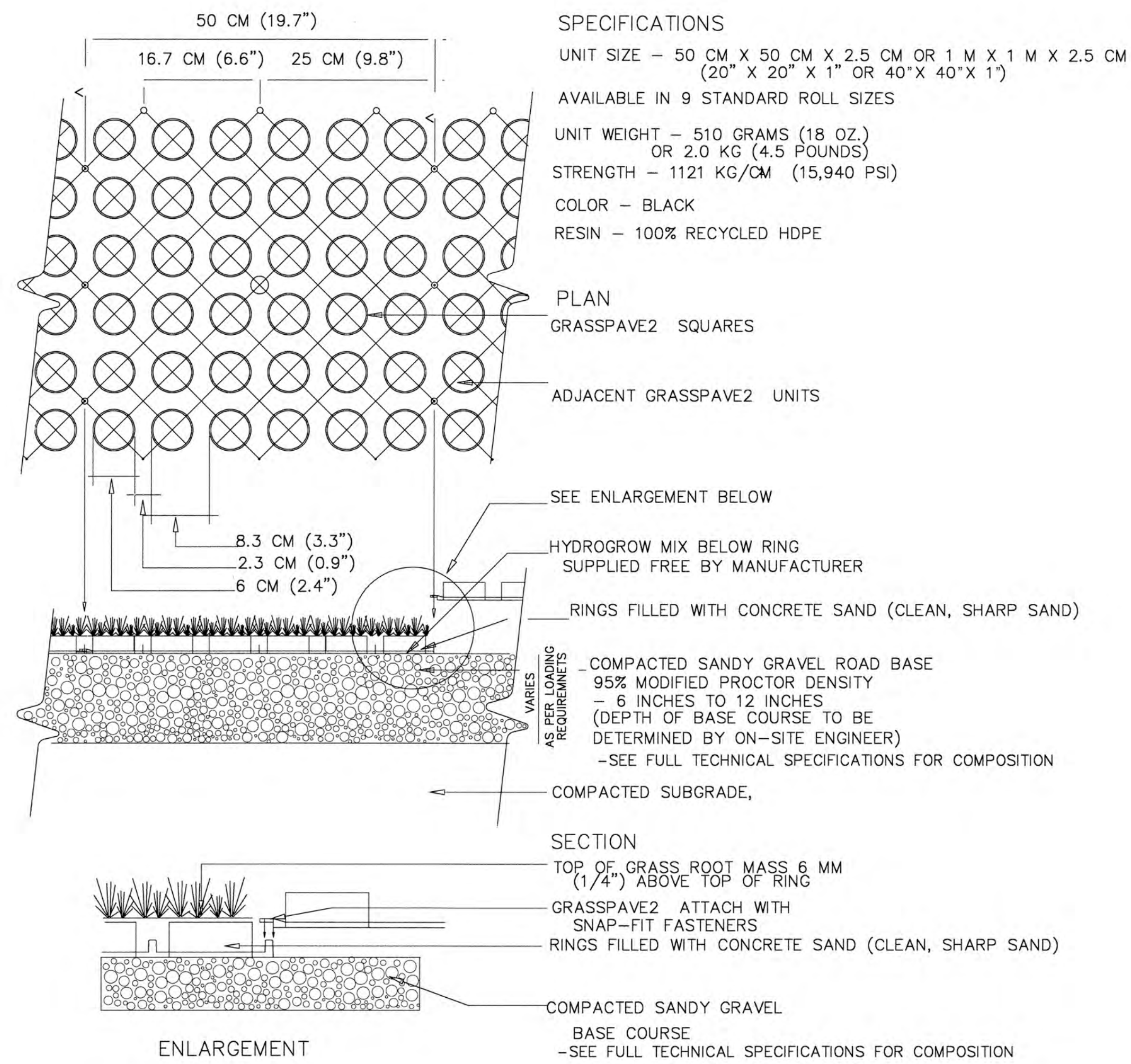
SITE PLAN DETAILS

SEAL: STATE OF FLORIDA
LEONARD Z. GAMBLE
Florida P.E. No. 65921
July 18, 2024

DATE: 07/19/2024
DRAWING NO.: SPD-2
PROJECT NO.: 99-0039-002-01

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SPECIFICATIONS
 UNIT SIZE - 50 CM X 50 CM X 2.5 CM OR 1 M X 1 M X 2.5 CM
 (20" X 20" X 1" OR 40" X 40" X 1")
 AVAILABLE IN 9 STANDARD ROLL SIZES
 UNIT WEIGHT - 510 GRAMS (18 OZ.)
 OR 2.0 KG (4.5 POUNDS)
 STRENGTH - 1121 KG/CM (15,940 PSI)
 COLOR - BLACK
 RESIN - 100% RECYCLED HDPE

PLAN
 GRASSPAVE2 SQUARES
 ADJACENT GRASSPAVE2 UNITS

SEE ENLARGEMENT BELOW
 HYDROGROW MIX BELOW RING
 SUPPLIED FREE BY MANUFACTURER
 RINGS FILLED WITH CONCRETE SAND (CLEAN, SHARP SAND)

VARIES AS PER LOADING REQUIREMENTS
 COMPACTED SANDY GRAVEL ROAD BASE
 95% MODIFIED PROCTOR DENSITY
 - 6 INCHES TO 12 INCHES
 (DEPTH OF BASE COURSE TO BE DETERMINED BY ON-SITE ENGINEER)
 -SEE FULL TECHNICAL SPECIFICATIONS FOR COMPOSITION
 COMPACTED SUBGRADE,

SECTION
 TOP OF GRASS ROOT MASS 6 MM (1/4") ABOVE TOP OF RING
 GRASSPAVE2 - ATTACH WITH SNAP-FIT FASTENERS
 RINGS FILLED WITH CONCRETE SAND (CLEAN, SHARP SAND)
 COMPACTED SANDY GRAVEL
 BASE COURSE
 -SEE FULL TECHNICAL SPECIFICATIONS FOR COMPOSITION

ENLARGEMENT

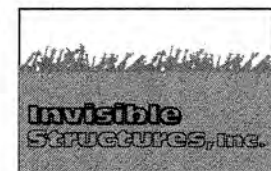
NOTE: GRASS/PLANT TYPES SHALL BE SPECIFIED BY A LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER.

TYPICAL GRASSPAVE2 DETAIL

NOTE: THIS IS NOT A CITY OF SUNRISE DETAIL.
 CHOOSE THIS PRODUCT FOR REINFORCING GRASS WEARING SURFACES

1
 1 OF 1

NOT TO SCALE



Invisible Structures, Inc.
 GPDET18.DWG

16265 E. 33RD DR., SUITE 20
 AURORA, COLORADO 80011
 800-233-1510 OR 303-233-8383
 FAX: 800-233-1522 OR
 303-233-8282
 www.invisiblestructures.com
 rev. 1/18

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SEAL: STATE OF FLORIDA
 Leonard Z. Gamble
 Florida P.E. No. 65921
 July 18, 2024
 DATE: 07/19/2024
 DRAWING NO.: SPD-3
 PROJECT NO.: 99-0039-002-01

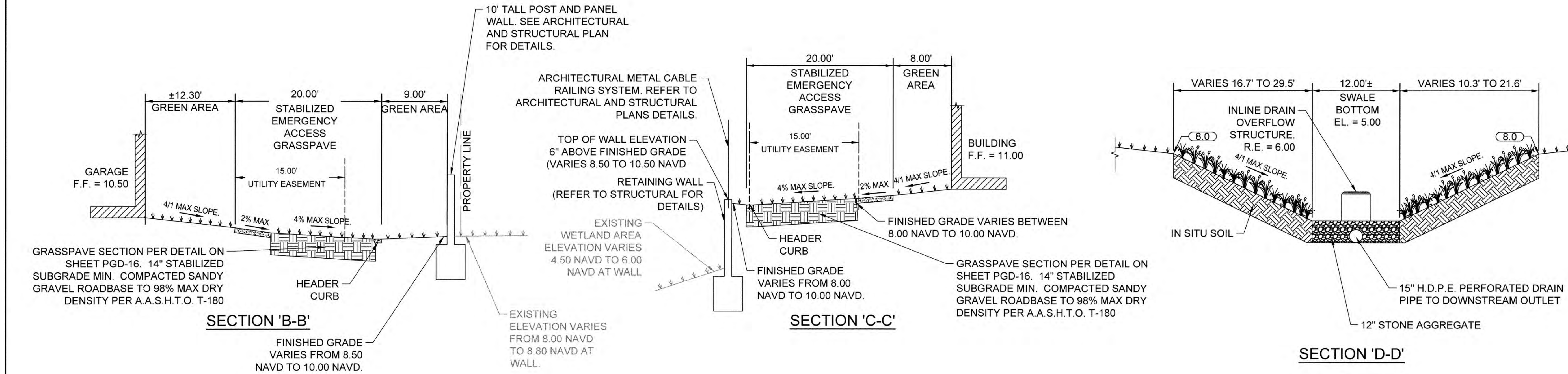
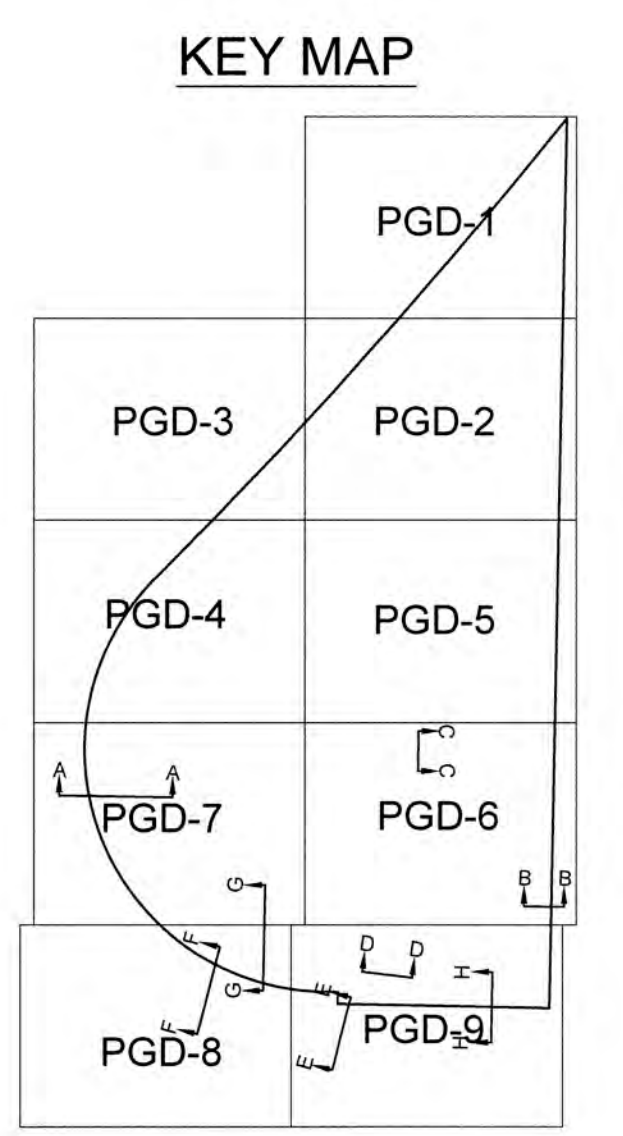
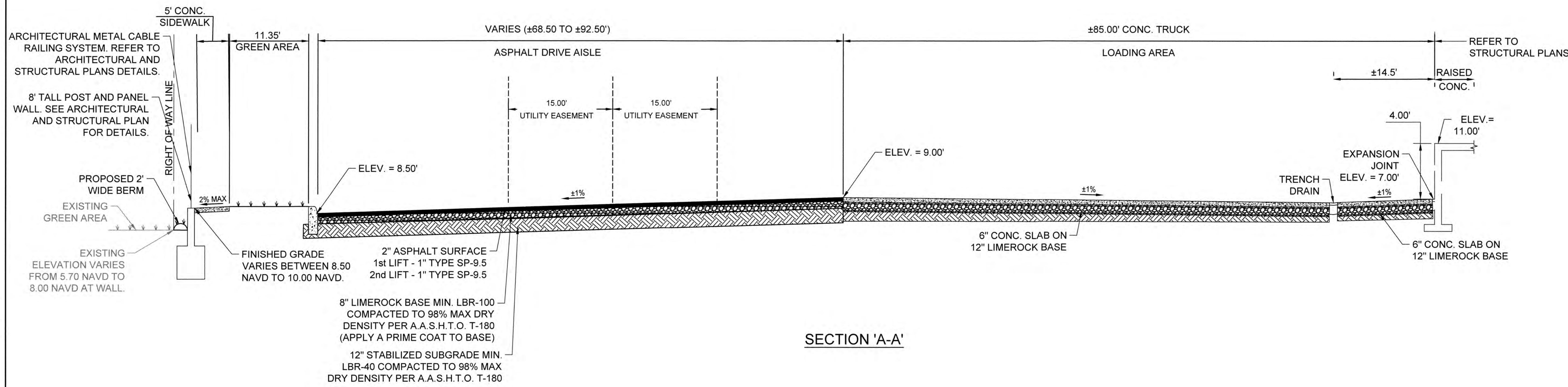
No.	REVISIONS	DATE	BY

SCALE:	
DESIGNED BY:	ERT
DRAWN BY:	ERT
CHECKED BY:	PJG

Craven Thompson and Associates, Inc.
 ENGINEERS • PLANNERS • SURVEYORS

BAPTIST HEALTH SOUTH FLORIDA
 12401 WEST OAKLAND PARK BOULEVARD
 SUNRISE, FLORIDA

SITE PLAN DETAILS



VERTICAL INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88).



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No.	REVISIONS	DATE	BY

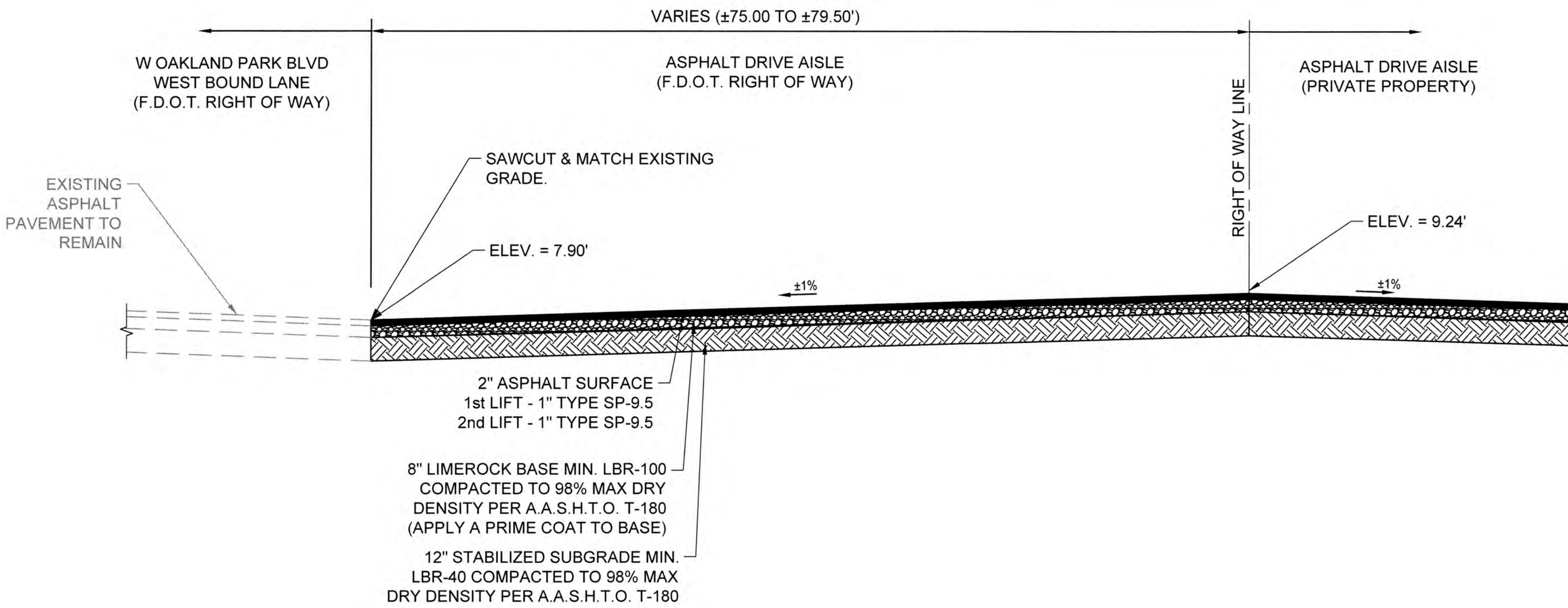
SCALE	
DESIGNED BY:	ERT
DRAWN BY:	ERT
CHECKED BY:	PJG

Craven Thompson and Associates, Inc.
 ENGINEERS • PLANNERS • SURVEYORS
 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
 FAX: (954) 739-6409 TEL: (954) 739-6400
 FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS No. 271
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS No. 0000114

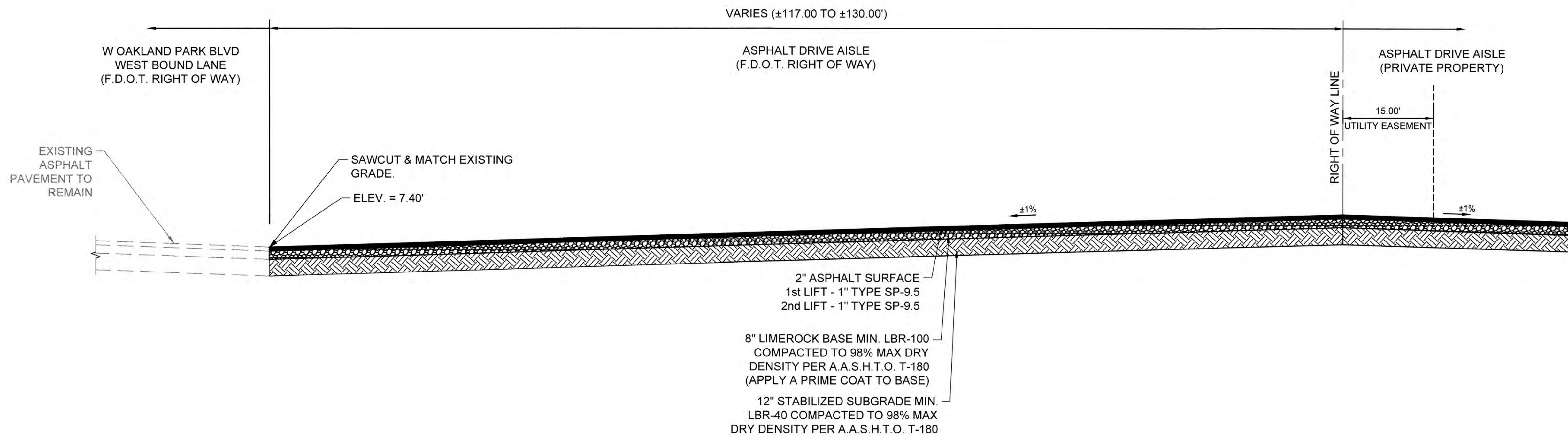
BAPTIST HEALTH SOUTH FLORIDA
 12401 WEST OAKLAND PARK BOULEVARD
 SUNRISE, FLORIDA

TYPICAL CROSS SECTIONS

DATE:	07/19/2024
DRAWING NO.:	PGD-17
PROJECT NO.:	99-0039-002-01

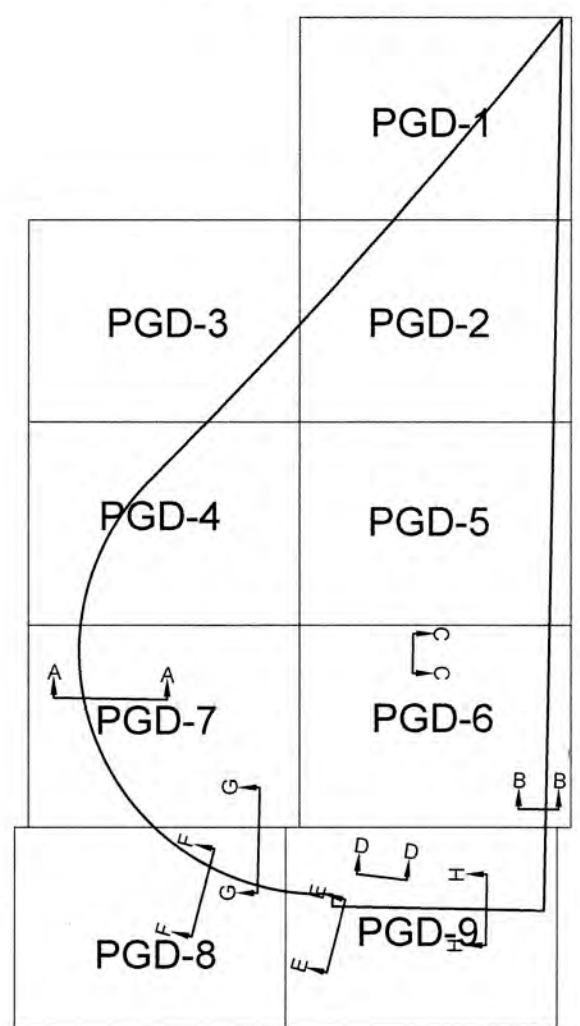


SECTION 'E-E'



SECTION 'F-F'

KEY MAP



VERTICAL INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88).

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No.	REVISIONS	DATE	BY

SCALE:	
DESIGNED BY:	ERT
DRAWN BY:	ERT
CHECKED BY:	PJG

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ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
FAX: (954) 739-6409 TEL: (954) 739-6400
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 0000114

BAPTIST HEALTH SOUTH FLORIDA
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

TYPICAL CROSS SECTIONS

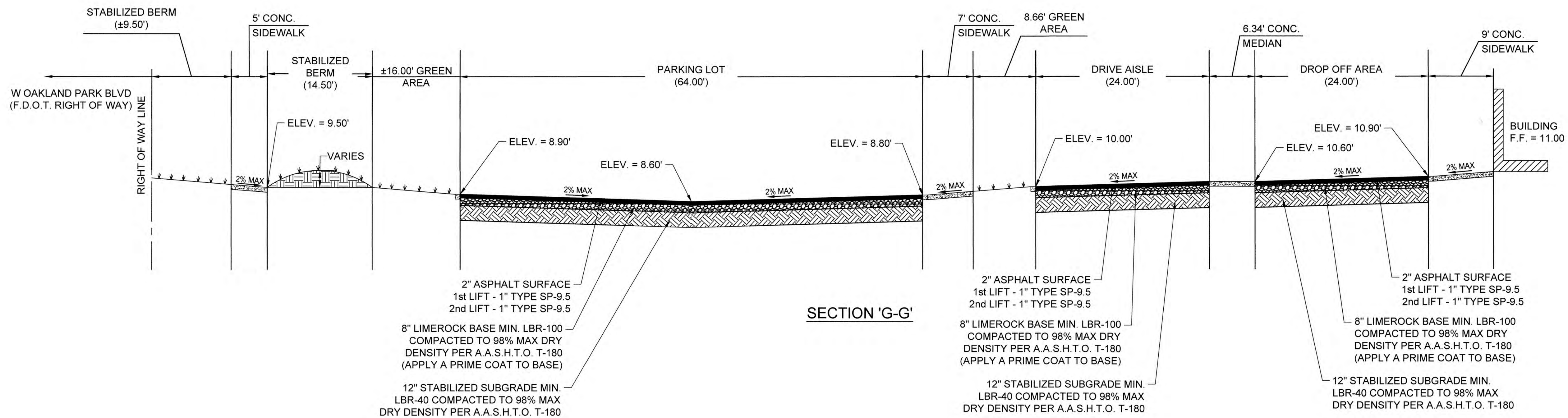


DATE:
07/19/2024

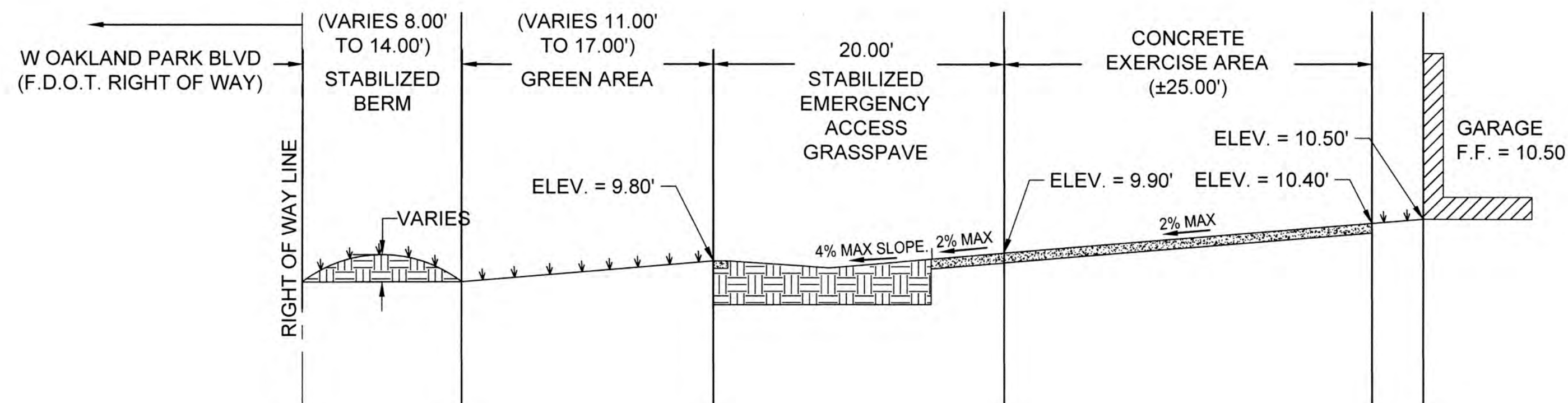
DRAWING NO.

PGD-18

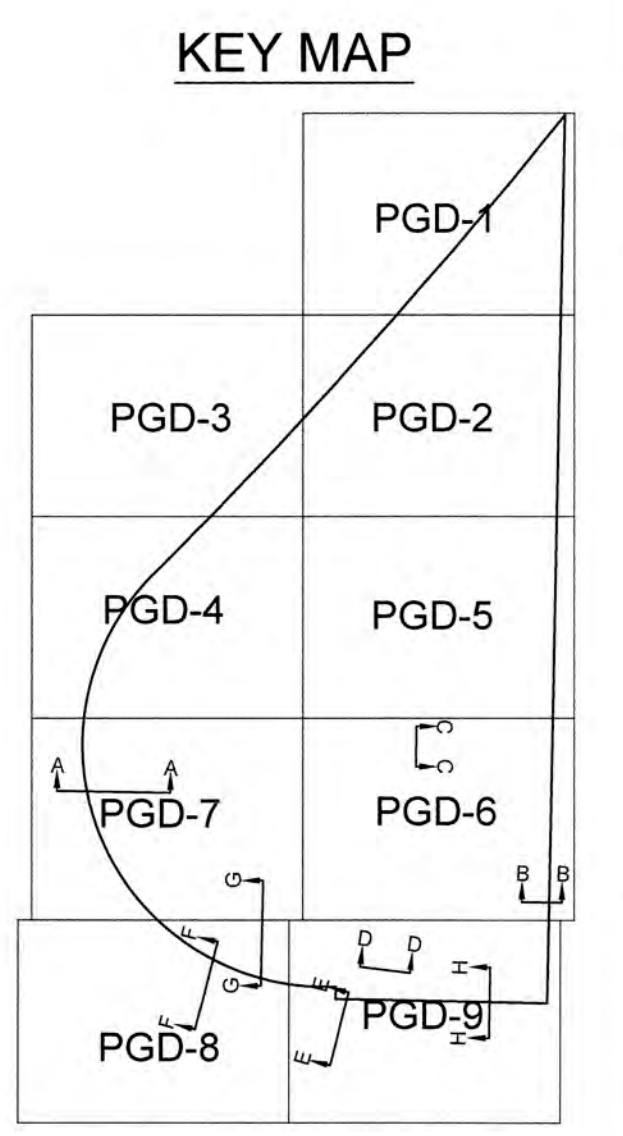
PROJECT NO.
99-0039-002-01



SECTION 'G-G'



SECTION 'H-H'



VERTICAL INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD88).

LEAVE BLANK - FOR CITY USE ONLY

No.	REVISIONS	DATE	BY

SCALE:
 DESIGNED BY: ERT
 DRAWN BY: ERT
 CHECKED BY: PJG

Craven Thompson and Associates, Inc.
 ENGINEERS • PLANNERS • SURVEYORS
 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
 FAX: (954) 739-6409 TEL.: (954) 739-6400
 FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 0020114
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BAPTIST HEALTH SOUTH FLORIDA
 12401 WEST OAKLAND PARK BOULEVARD
 SUNRISE, FLORIDA

TYPICAL CROSS SECTIONS



DATE: 07/19/2024
 DRAWING NO.: PGD-19
 PROJECT NO.: 99-0039-002-01

SEE SHEETS V-2 THRU V-4 FOR SITE TOPOGRAPHY AND IMPROVEMENTS
SEE SHEET V-2 FOR LEGENDS AND TITLE NOTES

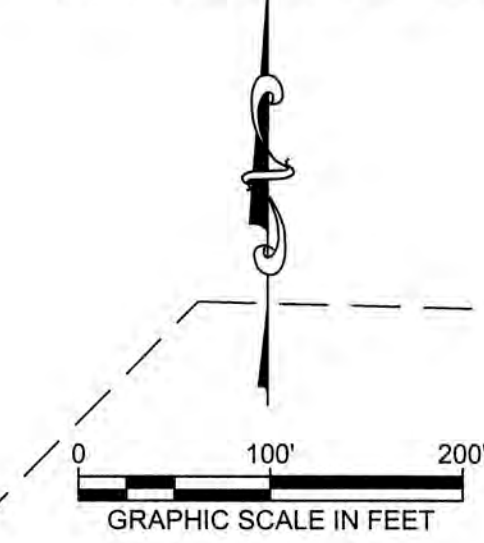
SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

NOTE: TREES LYING ON THE ISLANDS WITHIN THE CONSERVATION AREA WERE NOT LOCATED FOR THIS SURVEY.

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or warranties as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further confirmed by others through appropriate title verification.
NOTE: Lands shown hereon were not contracted for right-of-way and/or easements of record.

FLOOD ZONE INFORMATION:

THE HEREON DESCRIBED SITE IS LOCATED WITHIN FLOOD ZONES "AH-7" AND "X" (0.2% ANNUAL CHANCE FLOOD HAZARD) AS DELINEATED HEREON. FLOOD ZONE INFORMATION IS REFERENCED TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD MAP #12051C0550E, EFFECTIVE DATE 05/15/2020.



TREE LIST

TREE#	DESCRIPTION	TREE#	DESCRIPTION	TREE#	DESCRIPTION
T243	4" OAK	T566	4" POND APPLE	T953	6" OAK
T244	5" OAK	T567	4" POND APPLE	T954	14" BLACK OLIVE
T245	6" OAK	T568	4" POND APPLE	T955	4" BLACK OLIVE
T246	6" OAK	T569	4" POND APPLE	T956	4" OAK
T247	6" COCO PLUM	T570	4" POND APPLE	T957	10" OAK
T248	6" COCO PLUM	T571	5" POND APPLE	T958	4" OAK
T249	6" UNKNOWN	T572	4" POND APPLE	T959	6" OAK
T250	4" COCO PLUM	T573	4" POND APPLE	T960	6" BLACK OLIVE
T251	4" COCO PLUM	T574	4" POND APPLE	T961	6" BLACK OLIVE
T252	4" COCO PLUM	T575	4" POND APPLE	T962	6" BLACK OLIVE
T253	4" COCO PLUM	T576	4" POND APPLE	T963	12" BLACK OLIVE
T254	4" COCO PLUM	T577	4" POND APPLE	T964	4" BLACK OLIVE
T255	4" COCO PLUM	T578	4" POND APPLE	T965	6" BLACK OLIVE
T256	4" COCO PLUM	T579	4" POND APPLE	T966	14" BLACK OLIVE
T257	4" COCO PLUM	T580	4" POND APPLE	T967	6" BLACK OLIVE
T258	10" BLACK OLIVE	T581	4" POND APPLE	T968	6" BLACK OLIVE
T259	10" OAK	T582	4" POND APPLE	T969	4" BLACK OLIVE
T260	10" OAK	T583	4" POND APPLE	T970	4" OAK
T261	10" OAK	T584	4" POND APPLE	T971	4" BLACK OLIVE
T262	10" OAK	T585	4" POND APPLE	T972	5" BLACK OLIVE
T263	10" OAK	T586	4" POND APPLE	T973	6" OAK
T264	10" OAK	T587	4" POND APPLE	T974	6" OAK
T265	10" OAK	T588	4" POND APPLE	T975	15" BLACK OLIVE
T266	10" OAK	T589	4" POND APPLE	T976	12" BLACK OLIVE
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T271	10" OAK	T594	4" POND APPLE	T981	4" POND APPLE
T272	10" OAK	T595	4" POND APPLE	T982	4" POND APPLE
T273	10" OAK	T596	4" POND APPLE	T983	10" POND APPLE
T274	10" OAK	T597	4" POND APPLE	T984	10" POND APPLE
T275	10" OAK	T598	4" POND APPLE	T985	10" POND APPLE
T276	10" OAK	T599	4" POND APPLE	T986	10" POND APPLE
T277	10" OAK	T600	4" POND APPLE	T987	10" POND APPLE
T278	10" OAK	T601	4" POND APPLE	T988	10" POND APPLE
T279	10" OAK	T602	4" POND APPLE	T989	10" POND APPLE
T280	10" OAK	T603	4" POND APPLE	T990	10" POND APPLE
T281	10" OAK	T604	4" POND APPLE	T991	10" POND APPLE
T282	10" OAK	T605	4" POND APPLE	T992	10" POND APPLE
T283	10" OAK	T606	4" POND APPLE	T993	6" POND APPLE
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T286	10" OAK	T609	4" POND APPLE	T996	4" POND APPLE
T287	10" OAK	T610	4" POND APPLE	T997	4" POND APPLE
T288	10" OAK	T611	4" POND APPLE	T998	4" POND APPLE
T289	10" OAK	T612	4" POND APPLE	T999	4" POND APPLE
T290	10" OAK	T613	4" POND APPLE	T1000	4" POND APPLE
T291	10" OAK	T614	4" POND APPLE	T1001	4" POND APPLE
T292	10" OAK	T615	4" POND APPLE	T1002	6" PINK TABEBUBIA
T293	10" OAK	T616	4" POND APPLE	T1003	4" POND APPLE
T294	10" OAK	T617	4" POND APPLE	T1004	4" POND APPLE
T295	10" OAK	T618	4" POND APPLE	T1005	4" POND APPLE
T296	10" OAK	T619	4" POND APPLE	T1006	10" POND APPLE
T297	10" OAK	T620	4" POND APPLE	T1007	4" POND APPLE
T298	10" OAK	T621	4" POND APPLE	T1008	4" POND APPLE
T299	10" OAK	T622	4" POND APPLE	T1009	10" POND APPLE
T300	10" OAK	T623	4" POND APPLE	T1010	10" POND APPLE
T301	10" OAK	T624	4" POND APPLE	T1011	4" POND APPLE
T302	10" OAK	T625	4" POND APPLE	T1012	4" POND APPLE
T303	10" OAK	T626	4" POND APPLE	T1013	4" POND APPLE
T304	10" OAK	T627	4" POND APPLE	T1014	4" POND APPLE
T305	10" OAK	T628	4" POND APPLE	T1015	4" POND APPLE
T306	10" OAK	T629	4" POND APPLE	T1016	4" POND APPLE
T307	10" OAK	T630	4" POND APPLE	T1017	12" POND APPLE
T308	10" OAK	T631	4" POND APPLE	T1018	12" POND APPLE
T309	10" OAK	T632	4" POND APPLE	T1019	8" POND APPLE
T310	10" OAK	T633	4" POND APPLE	T1020	8" POND APPLE
T311	10" OAK	T634	4" POND APPLE	T1021	8" POND APPLE
T312	10" OAK	T635	4" POND APPLE	T1022	10" POND APPLE
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T314	10" OAK	T637	4" POND APPLE	T1024	4" POND APPLE
T315	10" OAK	T638	4" POND APPLE	T1025	6" UNKNOWN
T316	10" OAK	T639	4" POND APPLE	T1026	6" UNKNOWN
T317	10" OAK	T640	4" POND APPLE	T1027	6" UNKNOWN
T318	10" OAK	T641	4" POND APPLE	T1028	6" UNKNOWN
T319	10" OAK	T642	4" POND APPLE	T1029	6" UNKNOWN
T320	10" OAK	T643	4" POND APPLE	T1030	6" UNKNOWN
T321	10" OAK	T644	4" POND APPLE	T1031	6" UNKNOWN
T322	10" OAK	T645	4" POND APPLE	T1032	4" POND APPLE
T323	10" OAK	T646	4" POND APPLE	T1033	4" POND APPLE
T324	10" OAK	T647	4" POND APPLE	T1034	4" POND APPLE
T325	10" OAK	T648	4" POND APPLE	T1035	4" POND APPLE
T326	10" OAK	T649	4" POND APPLE	T1036	4" POND APPLE
T327	10" OAK	T650	4" POND APPLE	T1037	4" POND APPLE
T328	10" OAK	T651	4" POND APPLE	T1038	4" POND APPLE
T329	10" OAK	T652	4" POND APPLE	T1039	4" POND APPLE
T330	10" OAK	T653	4" POND APPLE	T1040	4" POND APPLE
T331	10" OAK	T654	4" POND APPLE	T1041	4" POND APPLE
T332	10" OAK	T655	4" POND APPLE	T1042	4" POND APPLE
T333	10" OAK	T656	4" POND APPLE	T1043	4" POND APPLE
T334	10" OAK	T657	4" POND APPLE	T1044	4" POND APPLE
T335	10" OAK	T658	4" POND APPLE	T1045	4" POND APPLE
T336	10" OAK	T659	4" POND APPLE	T1046	4" POND APPLE
T337	10" OAK	T660	4" POND APPLE	T1047	6" POND APPLE
T338	10" OAK	T661	4" POND APPLE	T1048	4" POND APPLE
T339	10" OAK	T662	4" POND APPLE	T1049	4" POND APPLE
T340	10" OAK	T663	4" POND APPLE	T1050	4" POND APPLE
T341	10" OAK	T664	4" POND APPLE	T1051	4" POND APPLE
T342	10" OAK	T665	4" POND APPLE	T1052	4" POND APPLE
T343	10" OAK	T666	4" POND APPLE	T1053	4" POND APPLE
T344	10" OAK	T667	4" POND APPLE	T1054	4" POND APPLE
T345	10" OAK	T668	4" POND APPLE	T1055	4" POND APPLE
T346	10" OAK	T669	4" POND APPLE	T1056	4" POND APPLE
T347	10" OAK	T670	4" POND APPLE	T1057	4" POND APPLE
T348	10" OAK	T671	4" POND APPLE	T1058	4" POND APPLE
T349	10" OAK	T672	4" POND APPLE	T1059	4" POND APPLE
T350	10" OAK	T673	4" POND APPLE	T1060	4" POND APPLE
T351	10" OAK	T674	4" POND APPLE	T1061	4" POND APPLE
T352	10" OAK	T675	4" POND APPLE	T1062	4" POND APPLE
T353	10" OAK	T676	4" POND APPLE	T1063	4" POND APPLE
T354	10" OAK	T677	4" POND APPLE	T1064	4" POND APPLE
T355	10" OAK	T678	4" POND APPLE	T1065	4" POND APPLE
T356	10" OAK	T679	4" POND APPLE	T1066	4" POND APPLE
T357	10" OAK	T680	4" POND APPLE	T1067	4" POND APPLE
T358	10" OAK	T681	4" POND APPLE	T1068	4" POND APPLE
T359	10" OAK	T682	4" POND APPLE	T1069	4" POND APPLE
T360	10" OAK	T683	4" POND APPLE	T1070	4" POND APPLE
T361	10" OAK	T684	4" POND APPLE	T1071	4" POND APPLE
T362	10" OAK	T685	4" POND APPLE	T1072	4" POND APPLE
T363	10" OAK	T686	4" POND APPLE	T1073	4" POND APPLE
T364	10" OAK	T687	4" POND APPLE	T1074	4" POND APPLE
T365	10" OAK	T688	4" POND APPLE	T1075	4" POND APPLE
T366	10" OAK	T689	4" POND APPLE	T1076	4" POND APPLE
T367	10" OAK	T690	4" POND APPLE	T1077	4" POND APPLE
T368	10" OAK	T691	4" POND APPLE	T1078	4" POND APPLE
T369	10" OAK	T692	4" POND APPLE	T1079	4" POND APPLE
T370	10" OAK	T693	4" POND APPLE	T1080	4" POND APPLE
T371	10" OAK	T694	4" POND APPLE	T1081	4" POND APPLE
T372	10" OAK	T695	4" POND APPLE	T1082	4" POND APPLE
T373	10" OAK	T696	4" POND APPLE	T1083	4" POND APPLE
T374	10" OAK	T697	4" POND APPLE	T1084	4" POND APPLE
T375	10" OAK	T698	4" POND APPLE	T1085	4" POND APPLE
T376	10" OAK	T699	4" POND APPLE	T1086	4" POND APPLE
T377	10" OAK	T700	4" POND APPLE	T1087	4" POND APPLE
T378	10" OAK	T701	4" POND APPLE	T1088	4" POND APPLE
T379	10" OAK	T702	4" POND APPLE	T1089	4" POND APPLE
T380	10" OAK	T703	4" POND APPLE	T1090	4" POND APPLE
T381	10" OAK	T704	4" POND APPLE	T1091	4" POND APPLE
T382	10" OAK	T705	4" POND APPLE	T1092	4" POND APPLE
T383	10" OAK	T706	4" POND APPLE	T1093	4" POND APPLE
T384	10" OAK	T707	4" POND APPLE	T1094	4" POND APPLE
T385	10" OAK	T708	4" POND APPLE	T1095	4" POND APPLE
T386	10" OAK	T709	4" POND APPLE	T1096	4" POND APPLE
T387	10" OAK	T710	4" POND APPLE	T1097	4" POND APPLE
T388	10" OAK	T711	4" POND APPLE	T1098	4" POND APPLE
T389	10" OAK	T712	4" POND APPLE	T1099	4" POND APPLE
T390	10" OAK	T713	4" POND APPLE	T1100	4" POND APPLE
T391	10" OAK	T714	4" POND APPLE	T1101	4" POND APPLE
T392	10" OAK	T715	4" POND APPLE	T1102	4" POND APPLE
T393	10" OAK	T716	4" POND APPLE	T1103	4" POND APPLE
T394	10" OAK	T717	4" POND APPLE	T1104	4" POND APPLE
T395	10" OAK	T718	4" POND APPLE	T1105	4" POND APPLE
T396	10" OAK	T719	4" POND APPLE	T1106	4" POND APPLE
T397	10" OAK	T720	4" POND APPLE	T1107	4" POND APPLE
T398	10" OAK	T721	4" POND APPLE	T1108	4" POND APPLE
T399	10" OAK	T722	4" POND APPLE	T1109	4" POND APPLE
T400	10" OAK	T723	4" POND APPLE	T1110	4" POND APPLE
T401	10" OAK	T724	4" POND APPLE	T1111	4" POND APPLE
T402	10" OAK	T725	4" POND APPLE	T1112	4" POND APPLE
T403	10" OAK	T726	4" POND APPLE	T1113	4" POND APPLE
T404	10" OAK	T727	4" POND APPLE	T1114	4" POND APPLE
T405	10" OAK	T728	4" POND APPLE	T1115	4" POND APPLE
T406	10" OAK	T729	4" POND APPLE	T1116	4" POND APPLE
T407	10" OAK	T730	4" POND APPLE	T1117	4" POND APPLE
T408	10" OAK	T731	4" POND APPLE	T1118	4" POND APPLE
T409	10" OAK	T732	4" POND APPLE	T1119	4" POND APPLE
T410	10" OAK	T733	4" POND APPLE	T1120	4" POND APPLE
T411	10" OAK	T734	4" POND APPLE	T1121	4" POND APPLE
T412	10" OAK	T735	4" POND APPLE	T1122	4" POND APPLE
T413	10" OAK	T736	4" POND APPLE	T1123	4" POND APPLE
T414	10" OAK	T737	4" POND APPLE	T1124	4" POND APPLE
T415	10" OAK	T738	4" POND APPLE	T1125	4" POND APPLE
T416	10" OAK	T739	4" POND APPLE	T1126	4" POND APPLE
T417	10" OAK	T740	4" POND APPLE	T1127	4" POND APPLE
T418	10" OAK	T741	4" POND APPLE	T1128	4" POND APPLE
T419	10" OAK	T742	4" POND APPLE	T1129	4" POND APPLE
T420	10" OAK	T743	4" POND APPLE	T1130	4" POND APPLE
T421	10" OAK	T744	4" POND APPLE	T1131	4" POND APPLE
T422	10" OAK	T745	4" POND APPLE	T1132	4" POND APPLE
T423	10" OAK	T746	4" POND APPLE	T1133	4" POND APPLE
T424	10" OAK	T747	4" POND APPLE	T1134	4" POND APPLE
T425	10" OAK	T748	4" POND APPLE	T1135	4" POND APPLE
T426	10" OAK	T749	4" POND APPLE	T1136	4" POND APPLE
T427	10" OAK	T750	4" POND APPLE	T1137	4" POND APPLE
T428	10" OAK	T751	4" POND APPLE	T1138	4" POND APPLE
T429	10" OAK	T752	4" POND APPLE	T1139	4" POND APPLE
T430	10" OAK	T753	4" POND APPLE	T1140	4" POND APPLE
T431	10" OAK	T754	4" POND APPLE	T1141	4" POND APPLE
T432	10" OAK	T755	4" POND APPLE	T1142	4" POND APPLE
T433	10" OAK	T756	4" POND APPLE	T1143	4" POND APPLE
T434	10" OAK	T757	4" POND APPLE	T1144	4" POND APPLE
T435	10" OAK	T758	4" POND APPLE	T1145	4" POND APPLE
T436	10" OAK	T759	4" POND APPLE	T1146	4" POND APPLE
T437	10" OAK	T760	4" POND APPLE	T1147	4" POND APPLE

SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

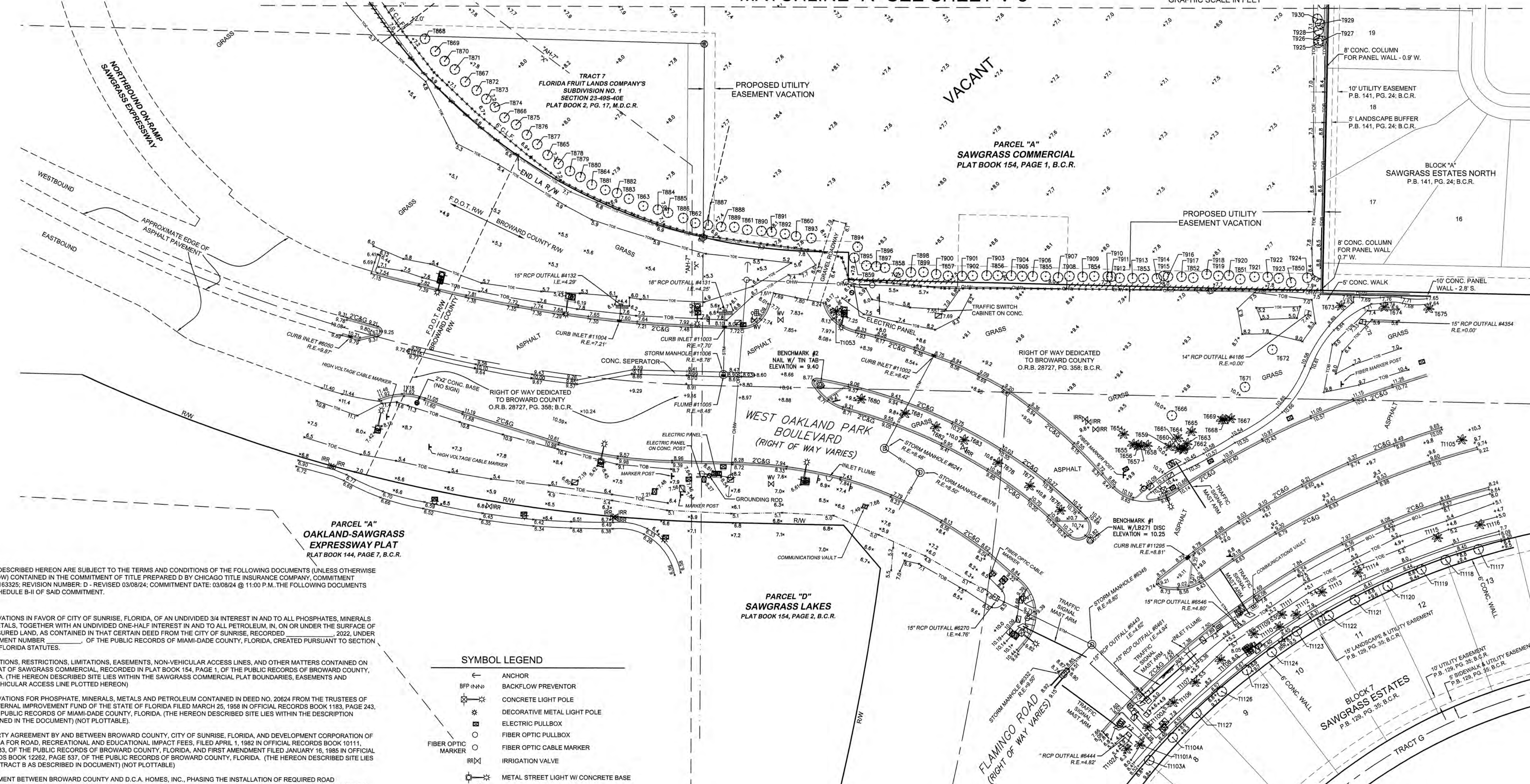
SEE SHEET V-1 FOR BOUNDARY INFORMATION, DESCRIPTION, SURVEYOR'S NOTES, TREE LIST AND CERTIFICATION
SEE SHEETS V-3 AND V-4 FOR THE REMAINDER OF THE SITE TOPOGRAPHY AND IMPROVEMENTS

MATCHLINE "A" SEE SHEET V-3

0 50' 100'
GRAPHIC SCALE IN FEET

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or warranties as to the information reflected herein pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further confirmed by others through appropriate title verification.
NOTE: Lands shown herein were not abstracted for right-of-way and/or easements of record.

DATE:	SCALE:	DATE:	BY:
01-25-15	1"=50'		
RY 03/19/24	RY 03/19/24	RY 03/19/24	RY 03/19/24
RY 12/29/23	RY 12/29/23	RY 12/29/23	RY 12/29/23
RY 09/28/23	RY 09/28/23	RY 09/28/23	RY 09/28/23
RY 07/22/23	RY 07/22/23	RY 07/22/23	RY 07/22/23
RY 07/19/23	RY 07/19/23	RY 07/19/23	RY 07/19/23
RY 07/14/23	RY 07/14/23	RY 07/14/23	RY 07/14/23
RY 07/24/19	RY 07/24/19	RY 07/24/19	RY 07/24/19
RY 07/19/18	RY 07/19/18	RY 07/19/18	RY 07/19/18
RY 07/19/18	RY 07/19/18	RY 07/19/18	RY 07/19/18



THE LANDS DESCRIBED HEREON ARE SUBJECT TO THE TERMS AND CONDITIONS OF THE FOLLOWING DOCUMENTS (UNLESS OTHERWISE NOTED BELOW) CONTAINED IN THE COMMITMENT OF TITLE PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NUMBER: 10163325; REVISION NUMBER: D - REVISED 03/08/24; COMMITMENT DATE: 03/08/24 @ 11:00 P.M. THE FOLLOWING DOCUMENTS CITED IN SCHEDULE B-1 OF SAID COMMITMENT.

- RESERVATIONS IN FAVOR OF CITY OF SUNRISE, FLORIDA, OF AN UNDIVIDED 3/4 INTEREST IN AND TO ALL PHOSPHATES, MINERALS AND METALS, TOGETHER WITH AN UNDIVIDED ONE-HALF INTEREST IN AND TO ALL PETROLEUM, IN, ON OR UNDER THE SURFACE OF THE INSURED LAND, AS CONTAINED IN THAT CERTAIN DEED FROM THE CITY OF SUNRISE, RECORDED _____, 2022, UNDER INSTRUMENT NUMBER _____ OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, CREATED PURSUANT TO SECTION 270.11, FLORIDA STATUTES.
- DEDICATIONS, RESTRICTIONS, LIMITATIONS, EASEMENTS, NON-VEHICULAR ACCESS LINES, AND OTHER MATTERS CONTAINED ON THE PLAT OF SAWGRASS COMMERCIAL, RECORDED IN PLAT BOOK 154, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (THE HEREON DESCRIBED SITE LIES WITHIN THE SAWGRASS COMMERCIAL PLAT BOUNDARIES, EASEMENTS AND NON-VEHICULAR ACCESS LINE PLOTTED HEREON)
- RESERVATIONS FOR PHOSPHATE, MINERALS, METALS AND PETROLEUM CONTAINED IN DEED NO. 20624 FROM THE TRUSTEES OF THE INTERNAL IMPROVEMENT FUND OF THE STATE OF FLORIDA FILED MARCH 25, 1958 IN OFFICIAL RECORDS BOOK 1183, PAGE 243, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. (THE HEREON DESCRIBED SITE LIES WITHIN THE DESCRIPTION CONTAINED IN THE DOCUMENT) (NOT PLOTTABLE).
- TRI-PARTY AGREEMENT BY AND BETWEEN BROWARD COUNTY, CITY OF SUNRISE, FLORIDA, AND DEVELOPMENT CORPORATION OF AMERICA FOR ROAD, RECREATIONAL AND EDUCATIONAL IMPACT FEES, FILED APRIL 1, 1982 IN OFFICIAL RECORDS BOOK 10111, PAGE 633, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND FIRST AMENDMENT FILED JANUARY 16, 1985 IN OFFICIAL RECORDS BOOK 12262, PAGE 537, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (THE HEREON DESCRIBED SITE LIES WITHIN TRACT B AS DESCRIBED IN DOCUMENT) (NOT PLOTTABLE).
- AGREEMENT BETWEEN BROWARD COUNTY AND D.C.A. HOMES, INC., PHASING THE INSTALLATION OF REQUIRED ROAD IMPROVEMENTS RELATING TO SAWGRASS COMMERCIAL FILED MAY 7, 1993 IN OFFICIAL RECORDS BOOK 20644, PAGE 972, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (THE HEREON DESCRIBED SITE LIES WITHIN THE LANDS DESCRIBED IN THE DOCUMENT) (NOT PLOTTABLE).
- ALL OF THE TERMS, RESTRICTIONS, EASEMENTS, COVENANTS, CONDITIONS AND OTHER PROVISIONS AS CONTAINED IN THE AMENDED DEED OF CONSERVATION EASEMENT AND AGREEMENT BY AND BETWEEN THE CITY OF SUNRISE, A MUNICIPAL CORPORATION, AND BROWARD COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF FLORIDA, FILED JUNE 28, 2019 UNDER INSTRUMENT NUMBER 11589844, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (THE EASEMENT DESCRIPTION LIES WHOLLY WITHIN THE HEREON DESCRIBED SITE) (EASEMENT PLOTTED HEREON)
- RESTRICTIONS, COVENANTS AND CONDITIONS IN THAT CERTAIN DECLARATION OF RESTRICTIONS FILED _____, 2022 UNDER INSTRUMENT NUMBER _____ OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- TERMS AND PROVISIONS OF PERMIT NO. 06-80111-P ISSUED BY THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT, EVIDENCED BY THE RECORD NOTICE OF ENVIRONMENTAL RESOURCE PERMIT RECORDED UNDER INSTRUMENT NUMBER 11797644 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (THE DESCRIPTION CONTAINED IN THE DOCUMENT LIES WHOLLY WITHIN THE HEREON DESCRIBED SITE) (NOT PLOTTABLE).
- DEDICATIONS, AND EASEMENTS CONTAINED ON THE PLAT OF FLORIDA FRUIT LAND COMPANY'S SUBDIVISION NO. 1 IN SECTION 23, TOWNSHIP 49 SOUTH, RANGE 40 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2 AT PAGE 17 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. (A PORTION OF THE HEREON DESCRIBED SITE LIES WITHIN THE FLORIDA FRUIT LAND COMPANY'S SUBDIVISION NO. 1 PLAT) (PLOTTED HEREON)
- RESERVATIONS RESERVED BY THE COUNTY OF BROWARD FOR ROAD RIGHT OF WAY AS CONTAINED IN COUNTY DEED NO. 817 FILED DECEMBER 21, 1950 IN DEED BOOK 716, PAGE 352, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (COPY OF DOCUMENT IS ILLEGIBLE, UNABLE TO DETERMINE IF IT AFFECTS SITE).

SYMBOL LEGEND	
	ANCHOR
	BACKFLOW PREVENTOR
	CONCRETE LIGHT POLE
	DECORATIVE METAL LIGHT POLE
	ELECTRIC PULLBOX
	FIBER OPTIC PULLBOX
	FIBER OPTIC CABLE MARKER
	IRRIGATION VALVE
	METAL STREET LIGHT W/ CONCRETE BASE
	PALM TREE / NUMBER
	PEDESTRIAN CROSSING SIGNAL
	SHADE TREE / NUMBER
	SPOT GROUND ELEVATION
	SPOT HARD SURFACE ELEVATION
	1.2 METAL TRAFFIC SIGNAL MAST ARM ON 4" DIAMETER CONCRETE BASE
	TRAFFIC SIGNAL PULLBOX
	WATER BLOW OFF VALVE
	WATER VALVE
	WOOD POWER POLE
	LIMITED ACCESS LINE
	NON-VEHICULAR ACCESS LINE
	OVERHEAD WIRES
	TOE OF SLOPE
	TOP OF SLOPE
	CHAIN LINK FENCE

ABBREVIATION LEGEND			
B.C.R.	BROWARD COUNTY RECORDS	M.D.C.R.	MIAMI-DADE COUNTY RECORDS
BH	BUD HEIGHT	N.V.A.L.	NON-VEHICULAR ACCESS LINE
C&G	CURB AND GUTTER	O.R.B.	OFFICIAL RECORDS BOOK
C.L.F.	CHAIN LINK FENCE	P.B.	PLAT BOOK
CONC.	CONCRETE	P.C.C	POINT OF COMPOUND
ELEV.	ELEVATION	PG.	PAGE
EW	EDGE OF WATER	R	RADIUS
FND.	FOUND	R.C.P.	REINFORCED CONCRETE PIPE
I.E.	INVERT ELEVATION	R.E.	RIM ELEVATION
IRR	IRRIGATION	R.W.	RIGHT OF WAY
L	ARC LENGTH	W.F.	WOOD FENCE
LA	LIMITED ACCESS	Δ	CENTRAL ANGLE
LB	LICENSED BUSINESS		

STORM DRAIN ASBUILTS	
SDMH #6241	C.I. #11003
R.E.=8.51	R.E.=7.70
I.E.=4.71(N) 15" RCP	I.E.=4.55(N) 18" RCP
I.E.=4.70(E) 15" RCP	I.E.=4.50(S) 15" RCP
B.O.S.=4.27	B.O.S.=4.00
SDMH #6345	C.I. #11004
R.E.=8.85	R.E.=7.21
I.E.=4.90(S) 15" RCP	I.E.=4.41(N) 15" RCP
I.E.=4.90(E) 15" RCP	B.O.S.=3.81
I.E.=4.85(W) 15" RCP	SDMH #11006
B.O.S.=4.52	R.E.=8.78
SDMH #6376	I.E.=4.78(N) 15" RCP
R.E.=8.54	B.O.S.=4.22
I.E.=4.55(W) 15" RCP	C.I. #11295
I.E.=4.54(S) 15" RCP	R.E.=8.50
B.O.S.=4.08	I.E.=4.90(E) 15" RCP
C.I. #11002	I.E.=4.08
R.E.=9.42	I.E.=5.02(S) 15" RCP
I.E.=5.02(S) 15" RCP	B.O.S.=4.42

CRAVEN THOMPSON & ASSOCIATES, INC.
ENGINEERS - PLANNERS - SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL: (954) 739-6409
FAX: (954) 739-6409
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C00014
CRAVEN THOMPSON & ASSOCIATES, INC. COMPANY ID: 0204

PROJECT NO.
99-0039-001-03

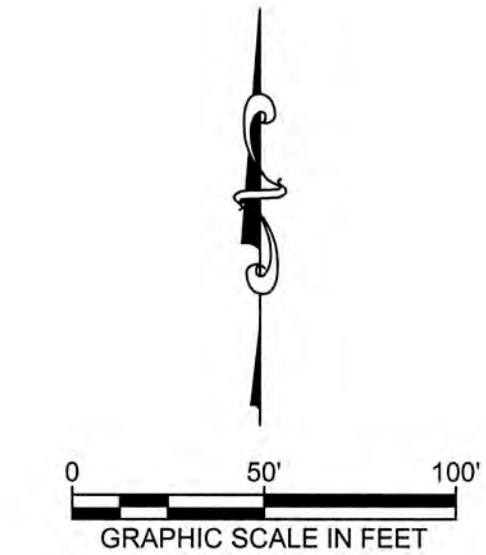
V-2
SHEET 2 OF 4

THE INFORMATION SHOWN ON THE ATTACHED SKETCH REFLECTS ONLY THE CONDITIONS AND IMPROVEMENTS ON THE DATE OF THE SURVEY

SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

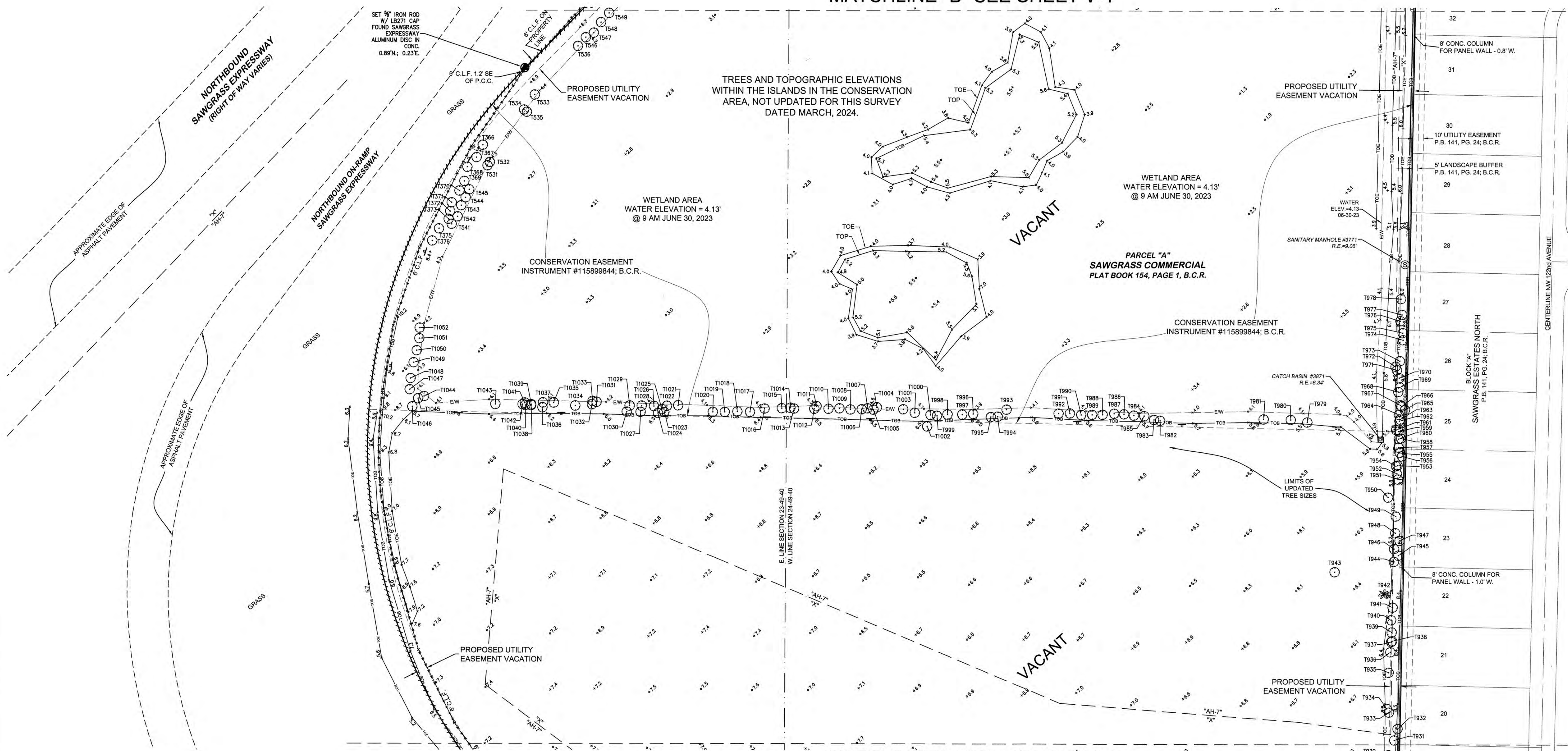
SEE SHEET V-1 FOR BOUNDARY INFORMATION, DESCRIPTION, SURVEYOR'S NOTES, TREE LIST AND CERTIFICATION
SEE SHEETS V-2 AND V-4 FOR THE REMAINDER OF THE SITE TOPOGRAPHY AND IMPROVEMENTS
SEE SHEET V-2 FOR LEGENDS AND TITLE NOTES

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or guarantees as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further confirmed by others through appropriate title verification.
NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.



MATCHLINE "B" SEE SHEET V-4

MATCHLINE "A" SEE SHEET V-2



DATE:	01-29-15	DATE:		DESCRIPTION:
SCALE:	1"=50'	DATE:	03/19/24	RY
DRAWN BY:	RY	DATE:	12/29/23	RY
CHECKED BY:	RD	DATE:	9/28/23	RY
FIELDBOOK:	SEE CERT.	DATE:	9/12/23	RY
PAGE(S):	SEE CERT.	DATE:	7/19/23	RY
		DATE:	9/24/19	RY
		DATE:	2/19/10	RY
		DATE:	2/19/10	RY

<p>PARCEL "A", SAWGRASS COMMERCIAL PLAT BOOK 157, PAGE 1; B.C.R. CITY OF SUNRISE, FLORIDA</p>	<p>PREPARED FOR: BAPTIST HEALTH SOUTH FLORIDA ALTA/NSPS LAND TITLE SURVEY</p>
<p>PROJECT NO. 99-0039-001-03</p>	
<p>V-3 SHEET 3 OF 4</p>	

<p>CRAVEN THOMPSON AND ASSOCIATES, INC. ENGINEERS • PLANNERS • SURVEYORS 3663 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309 TEL: (954) 735-6469 FAX: (954) 735-6469 FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114</p>	<p>INTERNET: WWW.CRAVEN-THOMPSON.COM CRAVEN THOMPSON & ASSOCIATES, INC. IS AN EQUAL OPPORTUNITY EMPLOYER</p>
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\\crafile02\Survey\Projects\1999\99-0039-25.5AC-WETLANDS-REMEDATION\Drawings\990039_SOS-adj_REV_2023_ESMT_VAC.dwg [S-3] Jul 16, 2024 1:36pm RYOUNG

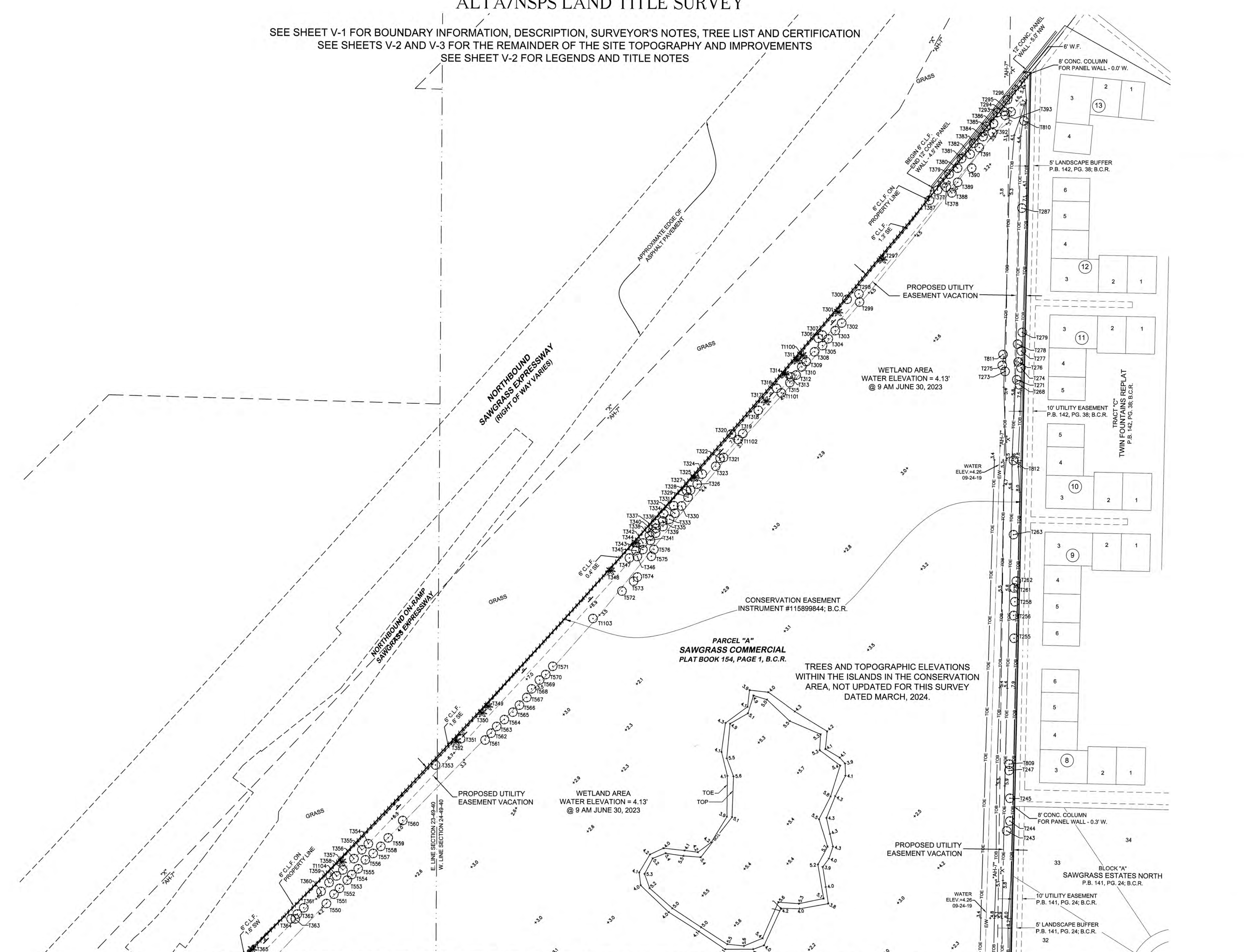
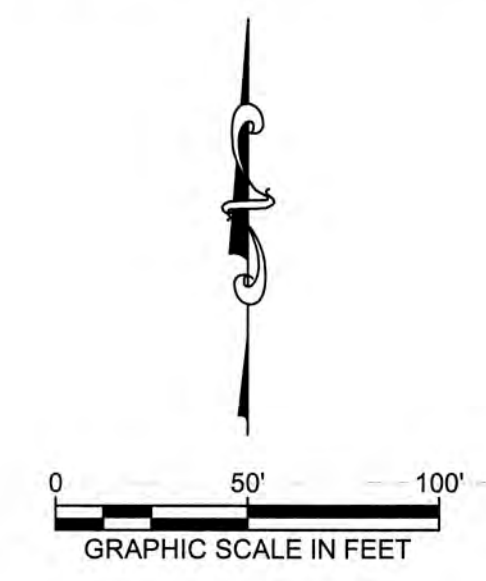
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SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

SEE SHEET V-1 FOR BOUNDARY INFORMATION, DESCRIPTION, SURVEYOR'S NOTES, TREE LIST AND CERTIFICATION
SEE SHEETS V-2 AND V-3 FOR THE REMAINDER OF THE SITE TOPOGRAPHY AND IMPROVEMENTS
SEE SHEET V-2 FOR LEGENDS AND TITLE NOTES

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or guarantees as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further confirmed by others through appropriate title verification.
NOTE: Lots shown hereon were not abstracted for right-of-way and/or easements of record.

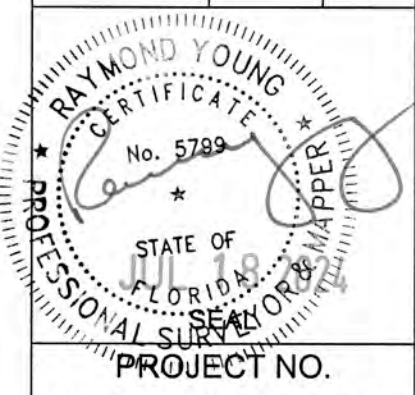
DATE:	01-29-15
SCALE:	1"=50'
DRAWN BY:	RY
CHECKED BY:	RDP
FIELDBOOK:	SEE CERT.
PAGE(S):	SEE CERT.



MATCHLINE "B" SEE SHEET V-3

CRAVEN THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL: (954) 735-6469
FAX: (954) 735-6468
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114
FLORIDA LICENSED SURVEYING BUSINESS NO. 14588
NATIONAL BOARD NUMBER IS THE PROPERTY OF CRAVEN THOMPSON & ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF CRAVEN THOMPSON & ASSOCIATES, INC.
CRAVEN THOMPSON & ASSOCIATES, INC. COPYRIGHT © 2024

**PARCEL "A", SAWGRASS COMMERCIAL
PLAT BOOK 157, PAGE 1; B.C.R.
CITY OF SUNRISE, FLORIDA**
PREPARED FOR:
BAPTIST HEALTH SOUTH FLORIDA
ALTA/NSPS LAND TITLE SURVEY



PROJECT NO.
99-0039-001-03

THE INFORMATION SHOWN ON THE ATTACHED SKETCH REFLECTS ONLY THE CONDITIONS AND IMPROVEMENTS ON THE DATE OF THE SURVEY

\\crafter2\Survey\Projects\999-0039-25.5AC-WETLANDS-REMEDIA\Drawings\990039_505-01_REV_2023_ESMT_VAC.dwg [S-4] Jul 16, 2024 1:17pm RYOUNG

THIS INSTRUMENT PREPARED BY LONDON M. CROSS OF CARNAHAN AND ASSOCIATES, INC. CONSULTING ENGINEERS

SAWGRASS COMMERCIAL

A REPLAT OF A PORTION OF TRACTS 4,5 AND 6 IN SECTION 23, TOWNSHIP 49 SOUTH, RANGE 40 EAST, "FLORIDA FRUIT LANDS COMPANY'S SUBDIVISION NO. 1" AS RECORDED IN PLAT BOOK 2 AT PAGE 17 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, TOGETHER WITH A PORTION OF TRACTS 13 THRU 19 (INCLUSIVE) IN SECTION 24, TOWNSHIP 49 SOUTH, RANGE 40 EAST, "CHAMBERS LAND COMPANY SUBDIVISION" AS RECORDED IN PLAT BOOK 1 AT PAGE 5A OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND THE ROAD RIGHTS-OF-WAY ADJACENT THERETO.

CITY OF SUNRISE, BROWARD COUNTY, FLORIDA

BROWARD COUNTY PLANNING COUNCIL

THIS IS TO CERTIFY that the Broward County Planning Council approved this Plat subject to its compliance with dedication of Right-of-Way for Trafficways this 22nd day of August, A.D., 1991.

By: Alan Goldberg, 10-24-91, Chairperson

This Plat complies with the approval of the Broward County Planning Council of the above date and is approved and accepted for record this 2nd day of May, A.D., 1992.

By: Peter M. Ross, Administrator or Designee

BROWARD COUNTY DEPARTMENT OF STRATEGIC PLANNING AND GROWTH MANAGEMENT

This Plat is hereby approved and accepted for record.

By: [Signature], Director

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT-COUNTY RECORDS DIVISION-RECORDING SECTION

This Plat was filed for record this 7th day of May, A.D., 1992, and recorded in Plat Book 154, Page 1, Record Verified.

Attest: B. JACK OSTERHOLT, County Administrator

By: [Signature], County Administrator

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT - COUNTY RECORDS DIVISION - MINUTES SECTION

THIS TO CERTIFY that this Plat complies with the provisions of Chapter 177, Florida Statutes, and was accepted for record by the BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, this 5th day of November, A.D., 1991.

Attest: B. JACK OSTERHOLT, County Administrator

By: [Signature], Deputy

By: [Signature], Chair

BROWARD COUNTY ENGINEERING DIVISION

This Plat is hereby approved and accepted for record.

By: Henry P. Cook, 5-5-92, Director of Engineering

By: Emilio V. Llufrío, 5-4-93, County Surveyor

CITY COMMISSION

THIS IS TO CERTIFY that this Plat has been approved for record by the CITY OF SUNRISE, by Resolution No. 91-108 adopted this 20th day of August, A.D., 1991.

By: [Signature], Mayor

By: [Signature], City Clerk

CITY ENGINEER

This Plat is approved for record this 23rd day of August, A.D., 1991.

By: Thomas A. Kassawara, City Engineer

SUNRISE DRAINAGE DISTRICT

This Plat has been approved this 27th day of August, A.D., 1991.

By: [Signature], Mayor

DESCRIPTION

A replat of a portion of Tracts 4,5 and 6 in Section 23, Township 49 South, Range 40 East, Florida Fruit Lands Company's Subdivision No. 1, as recorded in Plat Book 2 at Page 17 of the Public Records of Dade County, Florida, together with a portion of Tracts 13 thru 19 (inclusive) in Section 24, Township 49 South, Range 40 East, Chambers Land Company Subdivision, as recorded in Plat Book 1 at Page 5A of the Public Records of Broward County, Florida and the road rights-of-way adjacent thereto, being more particularly described as follows:

BEGINNING at the intersection of the East boundary of said Section 23 with the easterly extension of the South boundary of said Tract 6, thence along said easterly extension and along the South boundary of said Tract 6, North 88°36'28" West, 286.13 feet to a point on the arc of a non-tangent curve (radial line through said point bears South 52°46'50" West), thence northerly along the arc of said curve concave to the East, having a radius of 500.00 feet, a delta of 82°02'46", an arc distance of 715.99 feet to a point of reverse curvature; thence northeasterly along the arc of a tangent curve, concave to Northwest, having a radius of 11619.16 feet, a delta of 06°16'35", an arc distance of 1272.81 feet; thence South 01°07'25" West, 1837.12 feet to a point on the northerly right-of-way line of Oakland Park Boulevard, thence along said right-of-way line the following four (4) courses: North 88°53'54" West, 435.48 feet; North 01°06'06" East, 25.00 feet; North 88°53'54" West, 30.17 feet; westerly along the arc of a tangent curve, concave to the North, having a radius of 500.00 feet, a delta of 11°57'21", an arc distance of 104.34 feet to a point on the East boundary of Section 23; thence along said East boundary, North 00°16'27" East, 177.69 feet to the POINT OF BEGINNING.

Said lands Situate in the City of Sunrise, Broward County, Florida and containing 25.520 Acres, more or less.

DEDICATION

KNOW ALL MEN BY THESE PRESENTS that D.C.A. HOMES, INC., a Florida Corporation formerly known as OAK HILL HOMES, INC. is the owner of the lands to be subdivided and platted as shown hereon, said plat to be known as SAWGRASS COMMERCIAL, A REPLAT. The utility easements as shown are hereby dedicated to the Public for proper purposes. Said utility easements will be used for the installation and maintenance of public utilities for the benefit of improvements within said Plat. It is the express intent of this Plat to close, vacate, and abandon from public use, that portion of the Rights-of-Way as dedicated by "FLORIDA FRUIT LANDS COMPANY'S SUBDIVISION NO. 1" (P.B. 2, PG. 17, D.C.R.) and "CHAMBERS LAND COMPANY SUBDIVISION" (P.B. 1, PG. 5A, B.C.R.) lying within the limits of this plat. The traffic control easement as shown is hereby dedicated to the public for proper purposes.

IN WITNESS WHEREOF, we hereunto set our hands this 15th day of July, A.D., 1991.

By: Stuart Miller, Vice President; Kathleen E. Sierra, Asst. Secretary

Witness: [Signatures]

ACKNOWLEDGEMENT

I HEREBY CERTIFY that on this day personally appeared before me, an Officer duly authorized by law to administer oaths and take acknowledgements, STUART MILLER, Vice-President and KATHLEEN E. SIERRA, Asst. Secretary, of D.C.A. HOMES, INC., a Florida Corporation to me well known to be the individuals described in and who executed the foregoing Dedication and that they acknowledged before me that they executed the same freely and voluntarily for uses and purposes therein expressed.

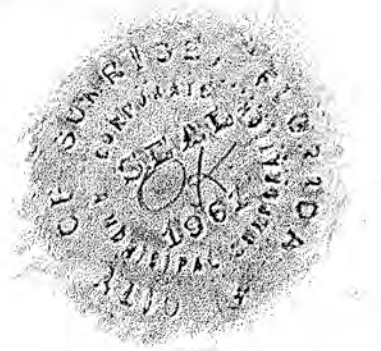
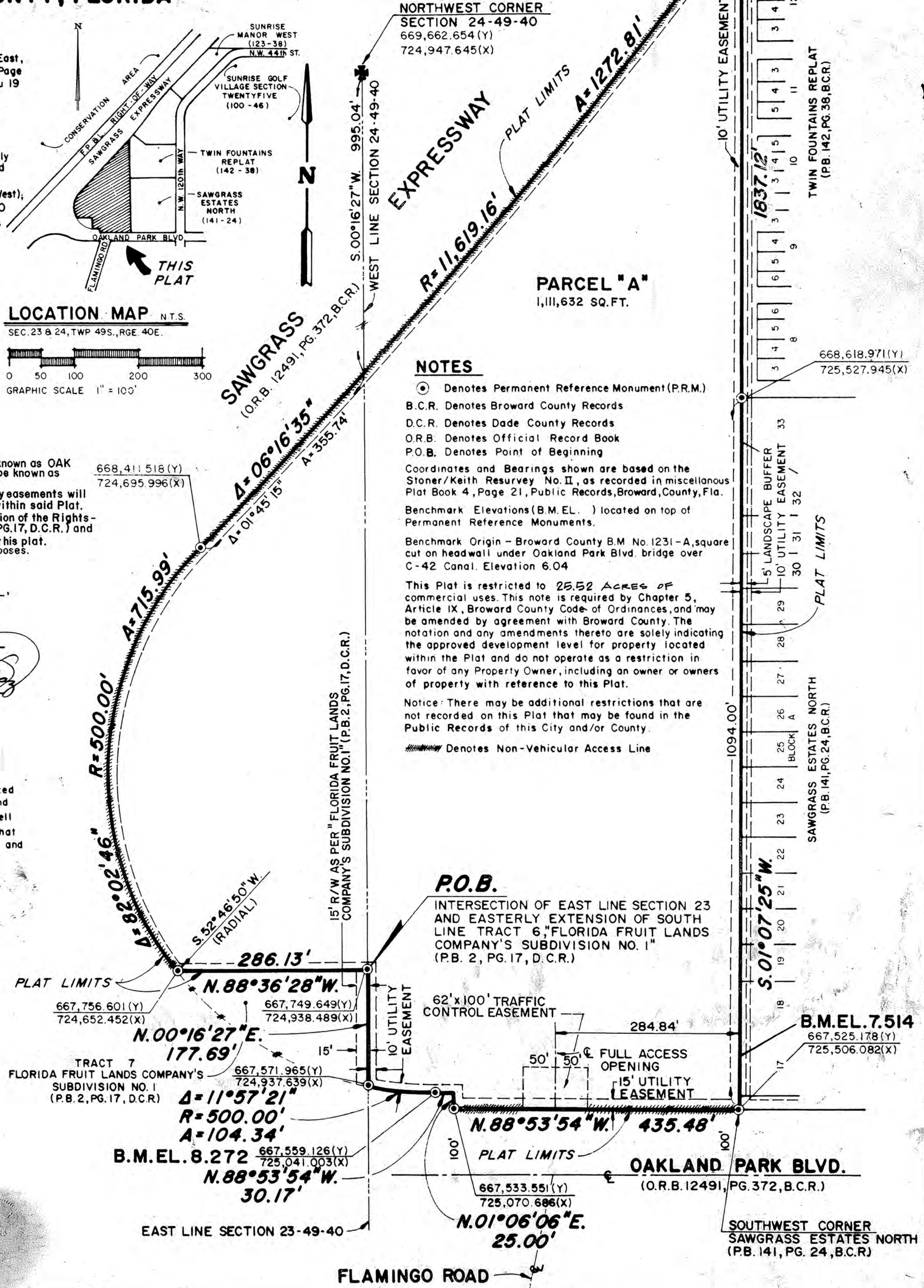
WITNESS my hand and official seal this 15th day of July, A.D., 1991.

Notary Public - State of Florida

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY that the attached Plat is a true and correct representation of the lands recently surveyed, subdivided and platted under my responsible direction and supervision, that the survey data shown conforms to the applicable requirements of Chapter 177, Florida Statutes, and with the applicable sections of Chapter 21HH-6, Florida Administrative Code. The Permanent Reference Monuments (P.R.M.'s) were set in accordance with Section 177.091 of said Chapter 177, on this 12th day of May, A.D., 1991. The Benchmarks shown are referenced to the National Geodetic Vertical Datum (N.G.V.D.) of 1929 in conformity with standards adopted by the National Ocean Survey for Third Order Control Standards.

By: London M. Cross, Registered Land Surveyor No. 3348, State of Florida



OR Book 20644 Pg 971

THIS INSTRUMENT PREPARED BY
LONDON M. CROSS OF
CARNAHAN AND ASSOCIATES, INC.
CONSULTING ENGINEERS
ENGINEERS SURVEYORS PLANNERS
6191 WEST ATLANTIC BLVD. MARGATE, FLORIDA 33063
MAY 1991 PROJECT NO. 910402 R.C.W.

SAWGRASS COMMERCIAL

A REPLAT OF A PORTION OF TRACTS 4,5 AND 6 IN SECTION 23, TOWNSHIP 49 SOUTH, RANGE 40 EAST, "FLORIDA FRUIT LAND COMPANY'S SUBDIVISION NO. 1" AS RECORDED IN PLAT BOOK 2 AT PAGE 17 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, TOGETHER WITH A PORTION OF TRACTS 13 THRU 19 (INCLUSIVE) IN SECTION 24, TOWNSHIP 49 SOUTH, RANGE 40 EAST, "CHAMBERS LAND COMPANY SUBDIVISION" AS RECORDED IN PLAT BOOK 1 AT PAGE 5A OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND THE ROAD RIGHTS-OF-WAY ADJACENT THERETO.
CITY OF SUNRISE, BROWARD COUNTY, FLORIDA

MORTGAGEES CONSENT

STATE OF FLORIDA ss
COUNTY OF DADE

KNOW ALL MEN BY THESE PRESENTS that NCNB NATIONAL BANK OF FLORIDA, a national banking association, the owners and holders of that certain mortgage recorded in Official Records Book 15364, Page 166 of the Public Records of Broward County, Florida, does hereby consent to and join in the Dedication as shown on this Plat.

IN WITNESS the undersigned have hereunto set their hands and the corporate seal affixed thereto this 10th day of October, 1991.

Jack J. Sapia
Witness JACK J. SAPIA
L.C. Goldberg
LAURA C. GOLDBERG Vice-President
Vincent A. Teria
Witness VINCENT A. TERIA

ACKNOWLEDGEMENT

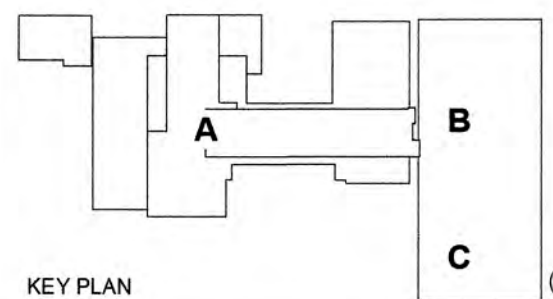
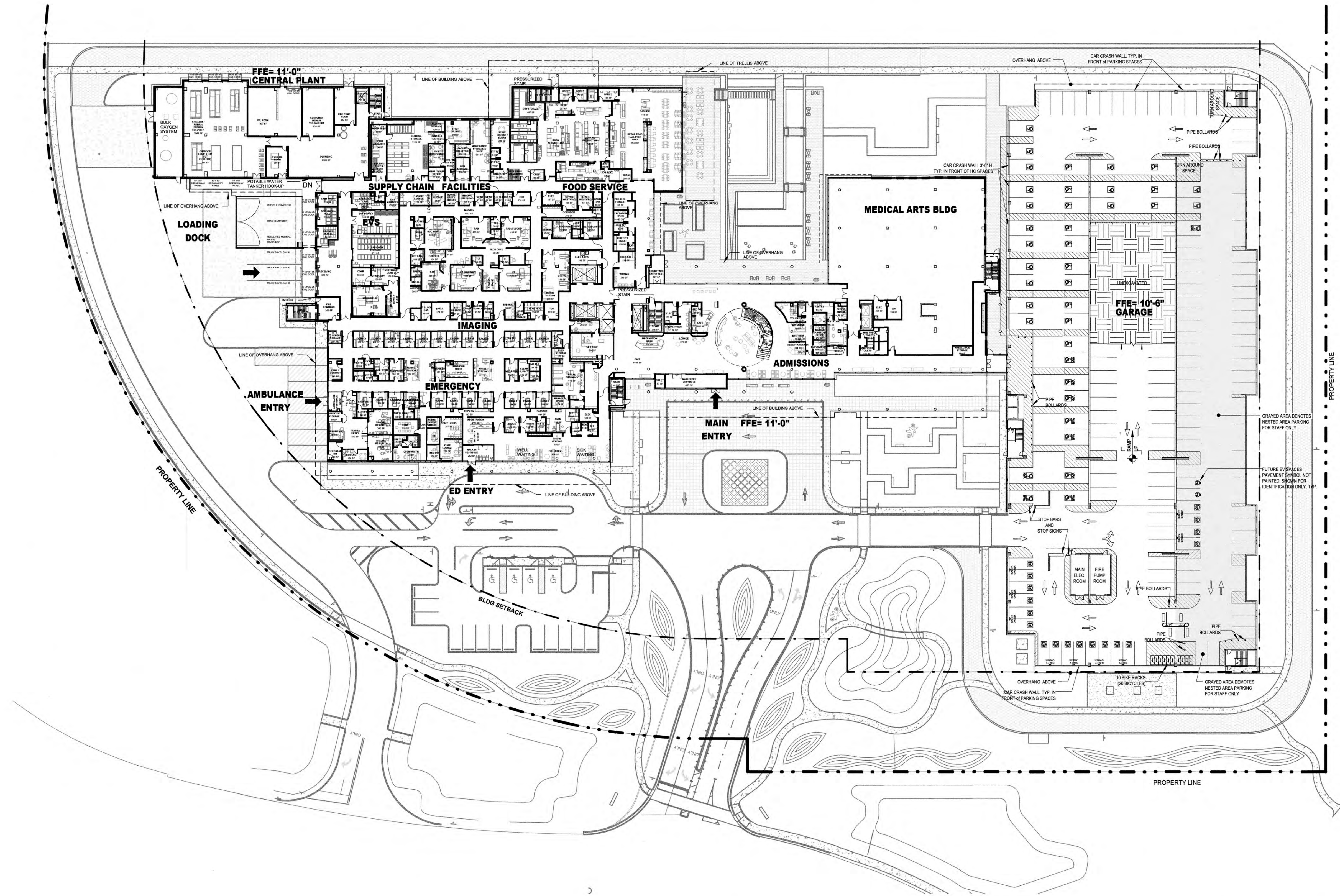
STATE OF FLORIDA ss
COUNTY OF DADE

I HEREBY CERTIFY that on this day personally appeared before me, Laura C. Goldberg Vice President of NCNB National Bank of Florida, a national banking association, an officer duly authorized by law to administer oaths and take acknowledgements and that he acknowledged to me the execution of the foregoing instrument of dedication for the purposes therein expressed.

Witness my hand and official seal this 10th day of October 1991.

Mary Abreu
Notary Public - State of Florida
MARY ABREU
9/23/94
My Commission expires





	HOSPITAL	CEP	MAB	GARAGE	TOTAL	BEDS
Not Placed	0 SF	10379 SF	16638 SF	79723 SF	0 SF	0
LEVEL 01	77430 SF	5195 SF	21077 SF	79723 SF	184170 SF	10
LEVEL 02	74075 SF	2071 SF		79723 SF	180070 SF	10
LEVEL 03	53809 SF			79723 SF	135603 SF	30
LEVEL 04	29936 SF			79754 SF	109659 SF	30
LEVEL 05	26786 SF				109639 SF	30
LEVEL 06	26786 SF				26786 SF	30
LEVEL 07	26786 SF				26786 SF	30
ROOF	300 SF	17645 SF	37530 SF	398844 SF	300 SF	100
	315915 SF				769919 SF	

NO.	REVISION	DATE	BY

SCALE: 1" = 40'-0"

DESIGNED BY: HKS

DRAWN BY: HKS

CHECKED BY: HKS

HKS
ARCHITECT
HKS ARCHITECTS, INC. FL #AA F000119
2020 SALZEDO STREET, 4TH FLOOR
MIAMI, FL 33134

BAPTIST HEALTH SUNRISE HOSPITAL
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

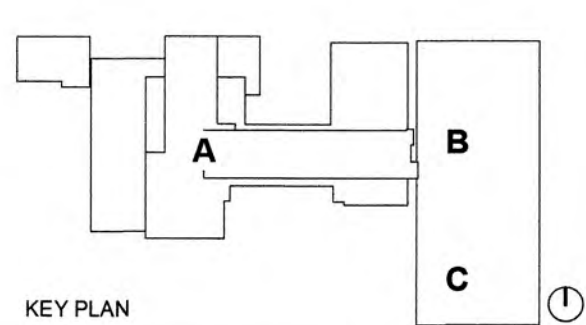
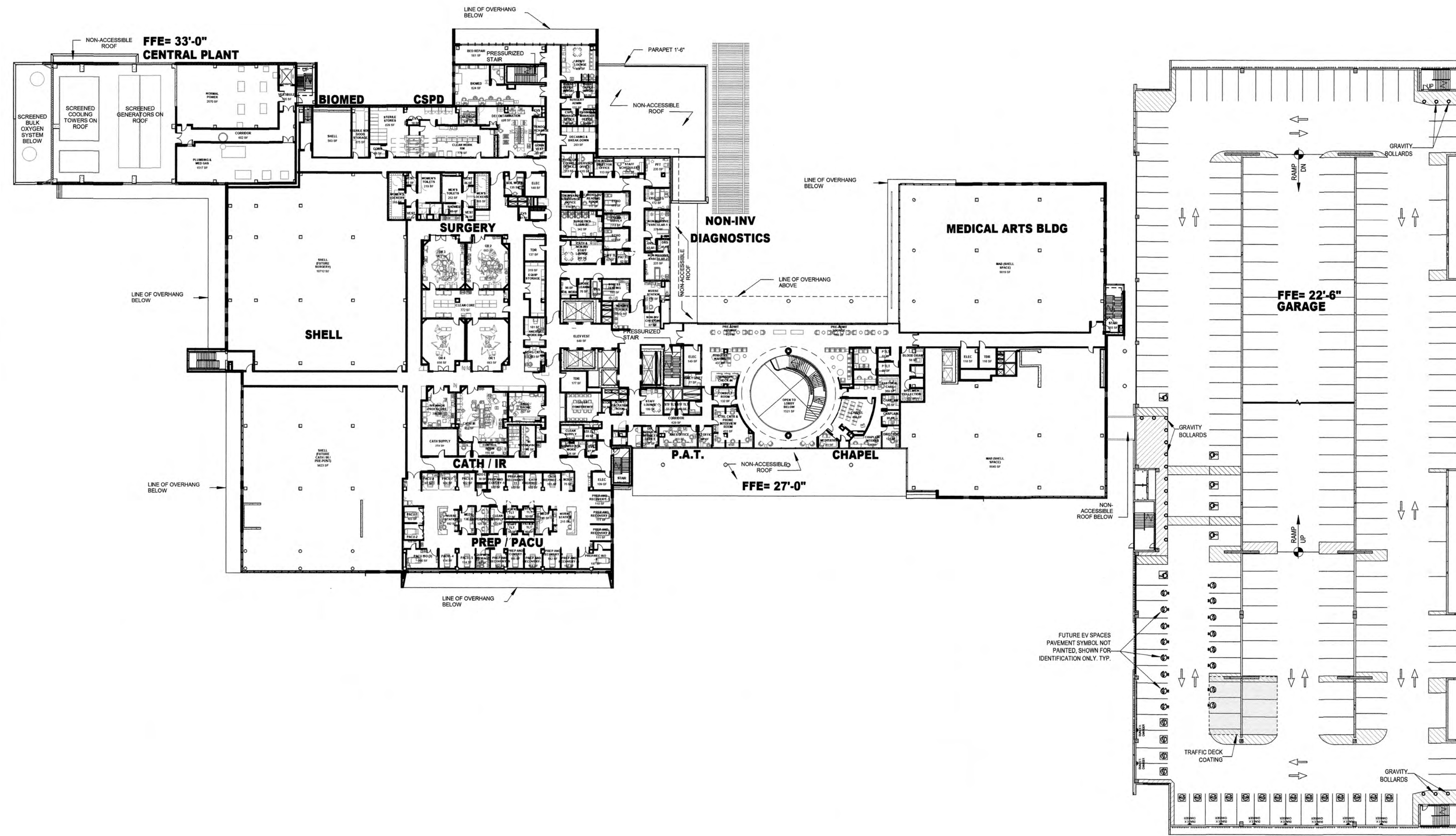
LEVEL 01 OVERALL PLAN

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DATE: 07/19/2024

DRAWING NO. CR2.01

PROJECT NO. 25203.000



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Not Placed	0 SF	10379 SF	16638 SF	79723 SF	0 SF	
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LEVEL 02	74075 SF	2071 SF		79723 SF	180070 SF	10
LEVEL 03	53809 SF			79723 SF	135603 SF	
LEVEL 04	29938 SF			79754 SF	109659 SF	30
LEVEL 05	26786 SF				106539 SF	30
LEVEL 06	26786 SF				26786 SF	30
LEVEL 07	26786 SF				26786 SF	
ROOF	308 SF	17645 SF	37530 SF	398644 SF	308 SF	100
	315915 SF				789919 SF	

LEAVE BLANK (FOR CITY USE ONLY)

NO.	REVISION	DATE	BY

SCALE:
1" = 40'-0"

DESIGNED BY:
HKS

DRAWN BY:
HKS

CHECKED BY:
HKS

HKS
ARCHITECT
HKS ARCHITECTS, INC. FL #AA F000119
2020 SALZEDO STREET, 4TH FLOOR
MIAMI, FL 33134

BAPTIST HEALTH SUNRISE HOSPITAL
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

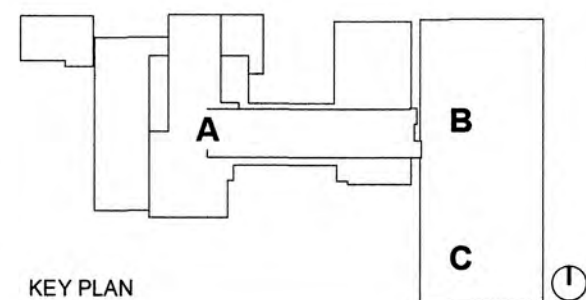
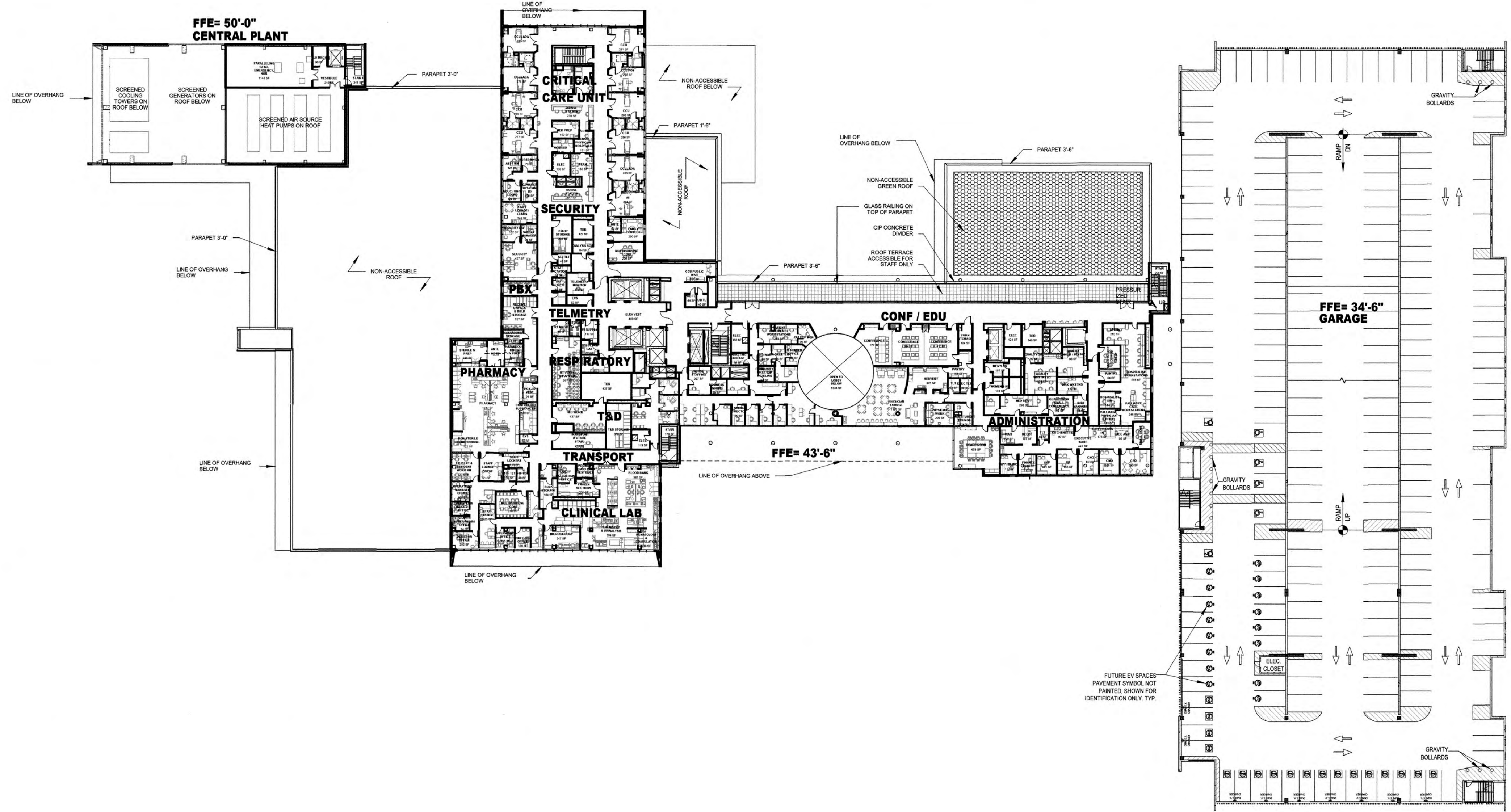
LEVEL 02 OVERALL PLAN

SEAL
STATE OF FLORIDA
COUNTY OF BROWARD
REGISTERED ARCHITECT
[Signature]

DATE:
07/19/2024

DRAWING NO.
CR2.02

PROJECT NO.
25203.000



	HOSPITAL	CEP	MAB	GARAGE	TOTAL	BEDS
Not Placed	0 SF	10379 SF	16638 SF	79723 SF	0 SF	
LEVEL 01	77430 SF	5195 SF	21077 SF	79723 SF	184170 SF	
LEVEL 02	74075 SF	2071 SF		79723 SF	180070 SF	10
LEVEL 03	53809 SF			79723 SF	135603 SF	
LEVEL 04	29938 SF			79754 SF	109659 SF	30
LEVEL 05	26786 SF				106539 SF	30
LEVEL 06	26786 SF				26786 SF	30
LEVEL 07	26786 SF				26786 SF	
ROOF	338 SF	17645 SF	37530 SF	398644 SF	336 SF	100
	315915 SF				766919 SF	

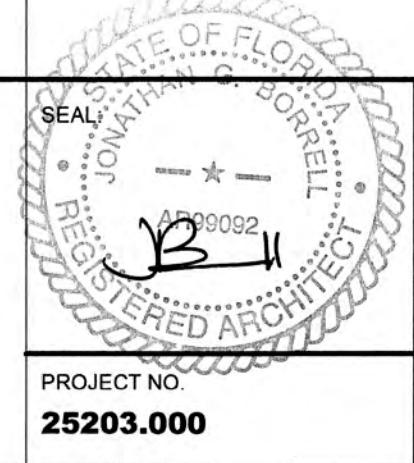
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NO.	REVISION	DATE	BY

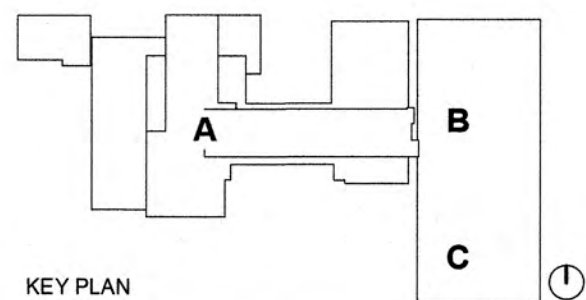
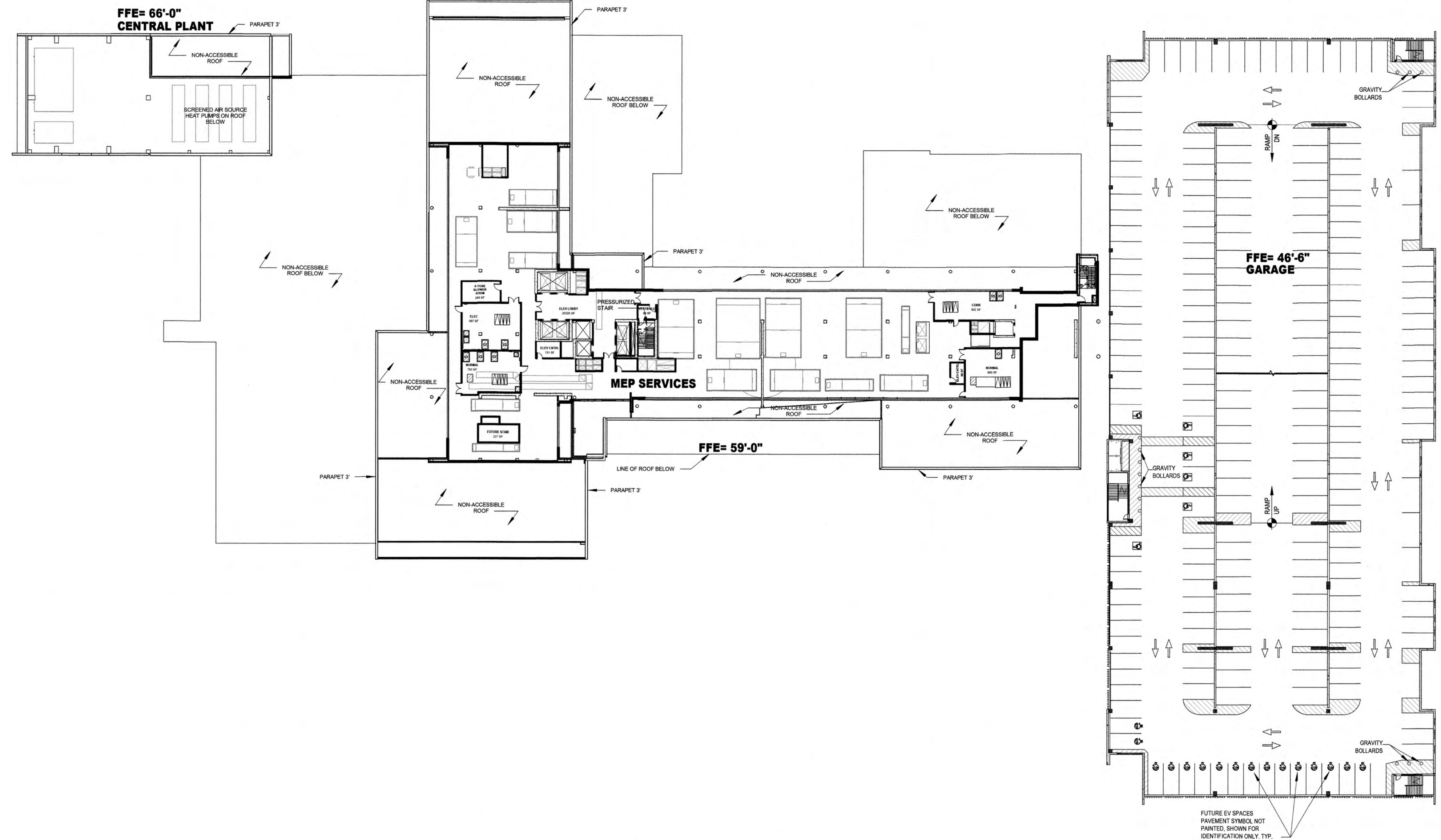


BAPTIST HEALTH SUNRISE HOSPITAL
 12401 WEST OAKLAND PARK BOULEVARD
 SUNRISE, FLORIDA

LEVEL 03 OVERALL PLAN



DATE: **07/19/2024**
 DRAWING NO.: **CR2.03**
 PROJECT NO.: **25203.000**



	HOSPITAL	CEP	MAB	GARAGE	TOTAL	BEDS
Not Placed	0 SF	10379 SF	16938 SF	79723 SF	0 SF	
LEVEL 01	77430 SF	5195 SF	21077 SF	79723 SF	184170 SF	
LEVEL 02	74075 SF	2071 SF		79723 SF	180070 SF	10
LEVEL 03	53609 SF			79723 SF	135603 SF	
LEVEL 04	29938 SF			79754 SF	109659 SF	30
LEVEL 05	26786 SF				106539 SF	30
LEVEL 06	26786 SF				26786 SF	30
LEVEL 07	26786 SF				26786 SF	30
ROOF	338 SF	17845 SF	37530 SF	398644 SF	338 SF	100
	315915 SF				789919 SF	

LEAVE BLANK (FOR CITY USE ONLY)

NO.	REVISION	DATE	BY

SCALE:
1" = 40'-0"

DESIGNED BY:
HKS

DRAWN BY:
HKS

CHECKED BY:
HKS



BAPTIST HEALTH SUNRISE HOSPITAL
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

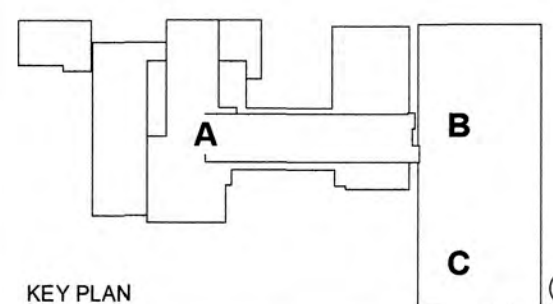
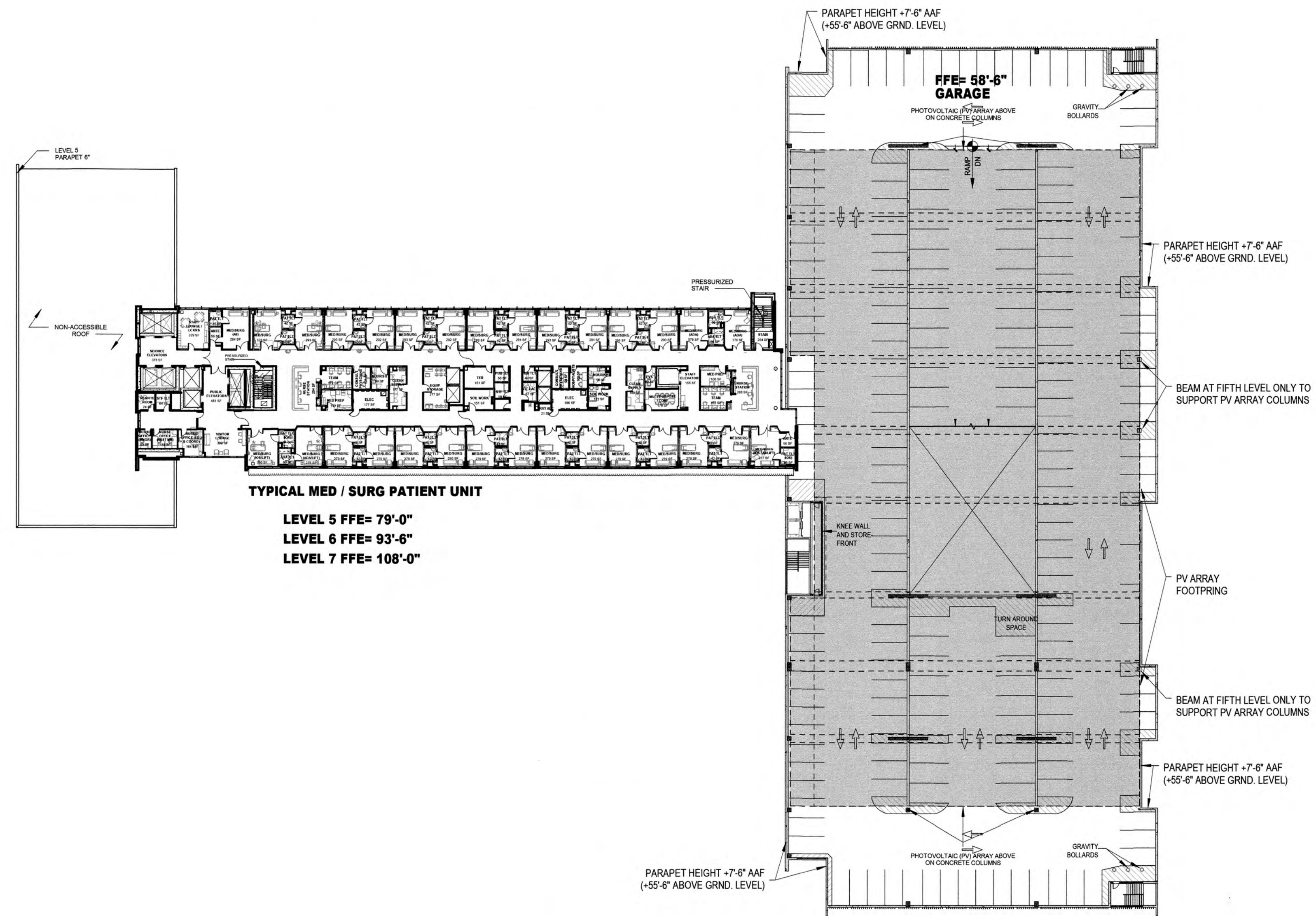
LEVEL 04 OVERALL PLAN

SEAL:

DATE: **07/19/2024**

DRAWING NO.: **CR2.04**

PROJECT NO.: **25203.000**



	HOSPITAL	CEP	MAB	GARAGE	TOTAL	BEDS
Not Placed	0 SF	10379 SF	16638 SF	79723 SF	0 SF	0
LEVEL 01	77430 SF	5195 SF	21077 SF	79723 SF	184170 SF	
LEVEL 02	74075 SF	2071 SF		79723 SF	180070 SF	10
LEVEL 03	53809 SF			79723 SF	135603 SF	
LEVEL 04	29638 SF			79754 SF	109659 SF	30
LEVEL 05	26786 SF				106539 SF	30
LEVEL 06	26786 SF				26786 SF	30
LEVEL 07	26786 SF				26786 SF	30
ROOF	308 SF	17645 SF	37530 SF	398644 SF	308 SF	100
	315915 SF				789919 SF	

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NO.	REVISION	DATE	BY

SCALE:
1" = 40'-0"

DESIGNED BY: HKS

DRAWN BY: HKS

CHECKED BY: HKS



BAPTIST HEALTH SUNRISE HOSPITAL
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

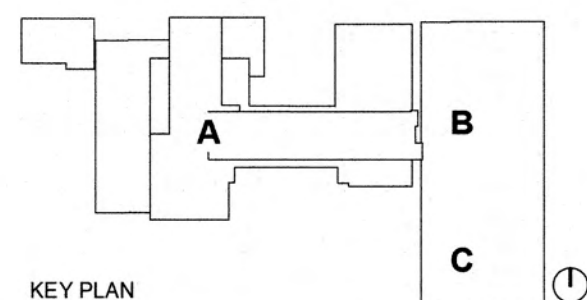
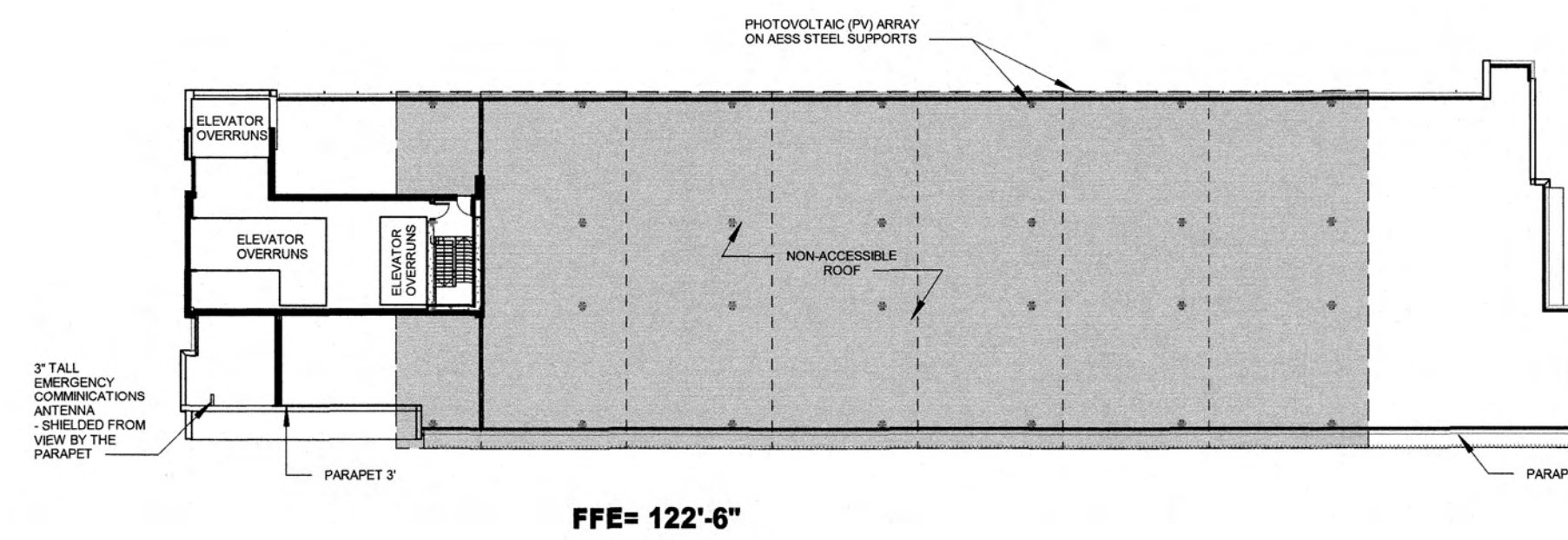
LEVEL 05 - 07 OVERALL PLANS

SEAL: [Professional Engineer Seal]

DATE: **07/19/2024**

DRAWING NO.: **CR2.05**

PROJECT NO.: **25203.000**



KEY PLAN

	HOSPITAL	CEP	MAB	GARAGE	TOTAL	BEDS
Not Placed	0 SF	10379 SF	16638 SF	79723 SF	0 SF	
LEVEL 01	77430 SF	5195 SF	21077 SF	79723 SF	184170 SF	
LEVEL 02	74075 SF	2071 SF		79723 SF	180070 SF	10
LEVEL 03	53809 SF			79723 SF	135603 SF	
LEVEL 04	29936 SF			79754 SF	109659 SF	30
LEVEL 05	26786 SF				106539 SF	30
LEVEL 06	26786 SF				26786 SF	30
LEVEL 07	26786 SF				26786 SF	
ROOF	328 SF	17645 SF	37830 SF	398644 SF	328 SF	100
	315915 SF				769919 SF	

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NO.	REVISION	DATE	BY

SCALE:
1" = 40'-0"

DESIGNED BY:
HKS

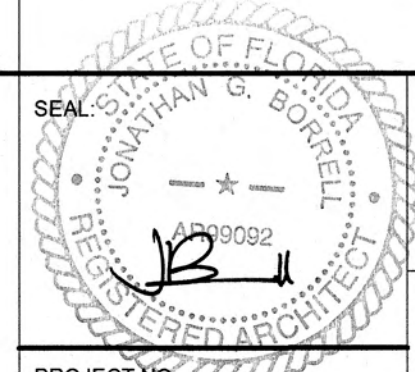
DRAWN BY:
HKS

CHECKED BY:
HKS

HKS
ARCHITECT
HKS ARCHITECTS, INC. FL #AA F000119
2020 SALZEDO STREET, 4TH FLOOR
MIAMI, FL 33134

BAPTIST HEALTH SUNRISE HOSPITAL
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

LEVEL ROOF OVERALL PLAN

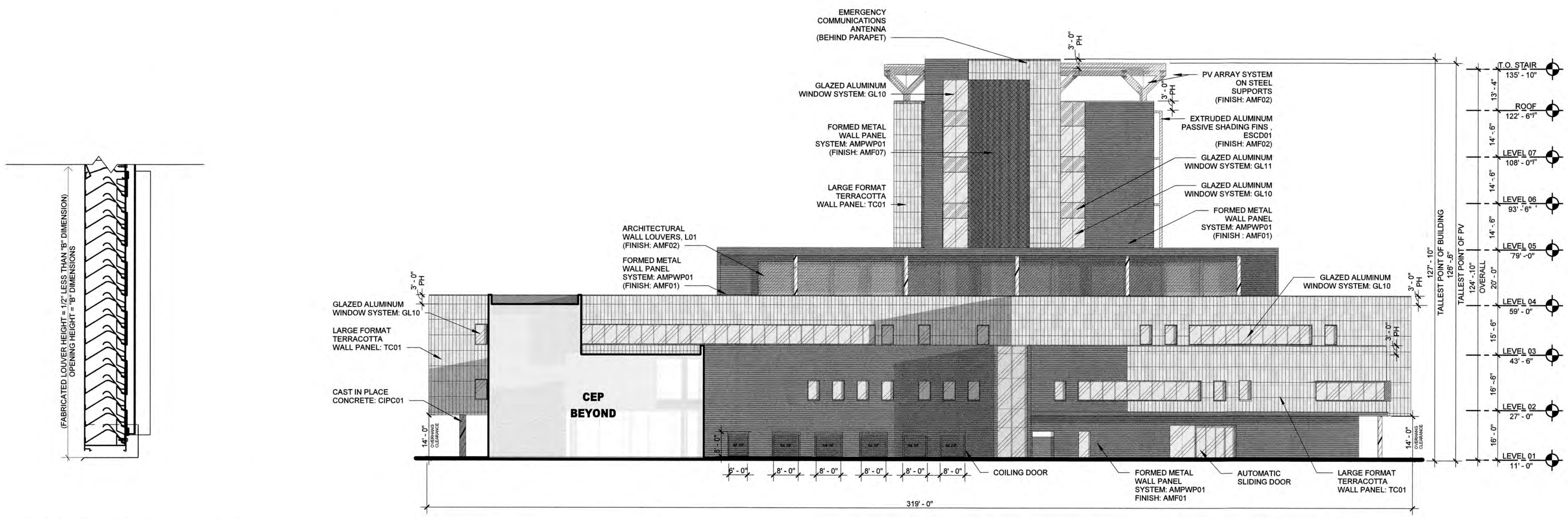


DATE:
07/19/2024

DRAWING NO.
CR2.08

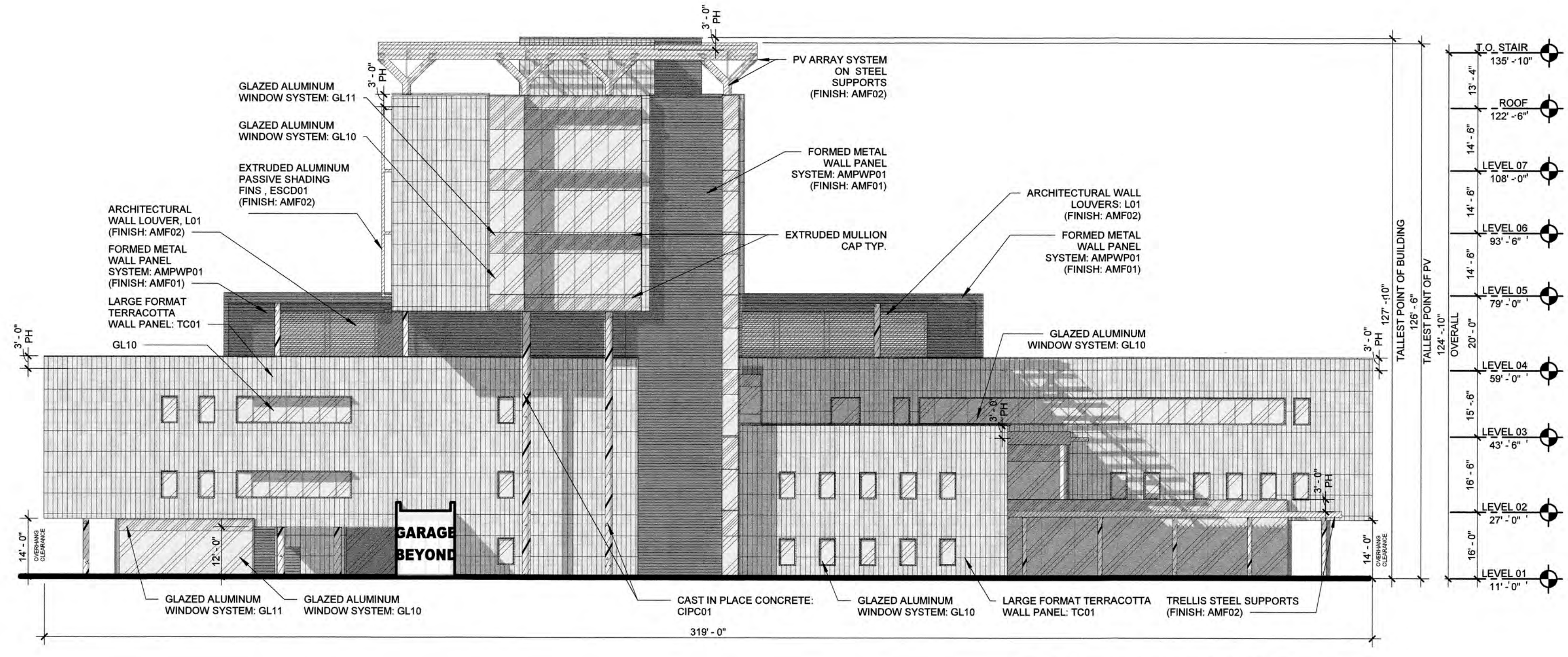
PROJECT NO.
25203.000

PROPOSED EXTERIOR MATERIAL SELECTION SUMMARY			
GLAZING DESIGNATIONS			
	GL10: 1 5/16" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: GUARDIAN SNX 6227 (#2 SURFACE) LOW IRON LOCATION: TOWER PUNCHED OPENING		GL14: 1 5/16" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM
	GL11: 1 5/16" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: GUARDIAN SNX 6227 (#2 SURFACE) LOW IRON LOCATION: TOWER PUNCHED OPENING		GL15: 1 5/16" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM
	GL12: 1 5/16" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: GUARDIAN SNR 43 (#2 SURFACE) VERTICAL WHITE FRIT - SENTRYGLASS EXPRESSIONS (#6 SURFACE) LOW IRON LOCATION: TOWER		GL16: 1/2" TEMPERED AND LAMINATED VISION GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR OR SIMILAR LOCATION: TERRACES
	GL13: 1 5/16" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: GUARDIAN SNR 43 (#6 SURFACE) VERTICAL WHITE FRIT - SENTRYGLASS EXPRESSIONS (#6 SURFACE) LOW IRON LOCATION: TOWER		
GLAZING SYSTEMS			
TYPE 01: PUNCHED OPENINGS MANUFACTURER: TBD SIZE: 2 1/2" X 7 1/2" FINISH COLOR: AMF02 LOCATION: SINGLE PUNCHED OPENING, ADJACENT TO TC01	TYPE 02: CURTAINWALL - LOBBY HIGH SPAN NON-SUPPORTED MANUFACTURE: TBD FINISH COLOR: AMF02 LOCATION: LOBBY, NORTH, ELEVATION SPANNING L1 AND L2 SOUTH ELEVATION SPANNING L1, L2 AND L3.	TYPE 03: CURTAINWALL - TYP. MANUFACTURER: TBD FINISH COLOR: AMF02 LOCATION: TYPICAL ELEVATIONS NOTED ON THE ELEVATIONS	TYPE 04: GLASS TERRACES MANUFACTURER: TBD FINISH COLOR: AMF02 LOCATION: TERRACES, L3 TERRACE
METAL FINISHES		FORMED METAL WALL PANEL	
	AMF01: MANUFACTURER: PPG DURANAR XL TYPE: ORGANIC COATING - KYNAR 3 COAT COATING COLOR: MEDIUM GRAY UC3360 LOCATION: FACADE, MECHANICAL SCREEN WALL CAT. CORNER LOUVERS, BREAK METAL, EXTERIOR SOFFITS, DOORS	AMPWP01: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: L1 FACADE, MECHANICAL SCREEN WALL AT L4	
	AMF02: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: BONE WHITE UC4350 LOCATION: MULLIONS, SHADOW BOX LOUVERS, L3 TERRACE, PV STRUCTURE, SHADING FINS	AMPWP02: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: ACCENT METAL PANEL	
	AMF03: MANUFACTURER: ALCOA TYPE: BRUSHED NATURAL ALUMINUM COATING COLOR: CLEAR LOCATION: GARAGE NORTH/SOUTH FACADE	AMPWP03: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: GARAGE	
	AMF04: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: DOVE GRAY UC0848 LOCATION: TRIM, EDGE, CORNERS AT TERRACOTTA BUILDING FACADE, SHADOW BOX FASCIA	AMPWP04: MANUFACTURER: SUBJECT TO COMPLIANCE STYLE NAME: FORMED METAL PANEL (L-SHAPE) COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: GARAGE	
	AMF05: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO MATCH ADJACENT PRECAST (SAMPLE: IVORY) (NATURAL WICKER MALT) LOCATION: TRIM, EDGE, CORNERS AT TERRACOTTA BUILDING FACADE, SHADOW BOX FASCIA	METAL MESHES	
	AMF06: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO CUSTOM COLOR (SAMPLE: GRAPHITE) LOCATION: PATIENT TOWER WEST FACADE	MM01: WIRE MESH MANUFACTURER: GKO METAL FABRICS STYLE NAME: OMEGA 1500 PC COLOR/FINISH: SS SIZE: REFERENCE DRAWINGS FOR DIMENSIONS AND PROJECTIONS LOCATION: GARAGE	
TERRACOTTA WALL PANELS		ARCHITECTURAL WALL LOUVERS	
	TC01: (SEE BELOW FOR PC01 ALTERNATE) MANUFACTURER: SHEDAN GROUP TYPE: LONGGONN LARGE FORMAT PANELS STYLE: VARIETY: FLAT, WIDE GROOVES AND DEEP GROOVES COLOR: A: CREME AND B: CHAMPAGNE LOCATION: HOSPITAL AND CEP	L01: ARCHITECTURAL WALL LOUVER MANUFACTURER: L&S GROUP STYLE NAME: OCH-5704 COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: L4 PRIMARY FACADE, CEP LOUVER	
ARCHITECTURAL PRECAST PANELS		PASSIVE SHADING DEVICE	
	PC01: (SEE BELOW FOR PC01 ALTERNATE) MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES THE FOLLOWING: STYLE: VARIETY: FLAT, WIDE GROOVES AND DEEP GROOVES ON FORMLINER COLOR: BUFF WHITE LOCATION: GARAGE AND ALTERNATE#1 FOR TC01	ESC01: EXTRUDED ALUMINUM PASSIVE SHADING FINS FITTING: TBD COLOR/FINISH: AMF02/TBD	
	PC02: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES THE FOLLOWING: STYLE NAME: TEXTURED COLOR: BUFF GRAY / TEXTURE: SANDBLAST LIGHT LOCATION: GARAGE	ARTIFICIAL PLANT WALL PANELS	
	PC03: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES THE FOLLOWING: DUAL LAYER: INCLM COLOR/TEXTURE: REF. PC REF COLORS/FINISHES: 109 SF-3.0 MIN PER ACI 301 CLASS 1 TRAFFIC COATING TO BE APPLIED TO TOP SURFACE IF REQUIRED.	PWP01: PLANT WALL PANELS MANUFACTURER: TBD COLOR/FINISH: GREEN IVY/TBD LOCATION: GARAGE EAST FACADE	
GENERAL NOTES			
ALL EXTERIOR MATERIAL SYSTEMS WILL MEET MIAMI-DADE COUNTY NOTICE OF APPROVALS AND FLORIDA PRODUCT APPROVALS			
GLAZING GENERAL NOTES: 1. GRAY GASKETS 2. GRAY STRUCTURAL SILICONE JOINT 3. GRAY WEATHERSEAL 4. 1/2" MILL SPACER WITH GRAY SILICONE SEAL			
PRECAST CONCRETE GENERAL NOTES: 1. PRECAST CONCRETE ENCOMPASSES MATERIALS THAT COULD ALSO INCLUDE GFRP & LRPC BASED ON PRICING AND PERFORMANCE DATA, & ANALYSIS THROUGH DESIGN PROCESS			
CAST IN PLACE CONCRETE GENERAL NOTES: 1. CEMENT SHALL BE WHITE PORTLAND CEMENT CONFORMING TO THE REQUIREMENT OF THE STANDARD SPECIFICATION FOR PORTLAND CEMENT, ASTM C150, FOR TYPE 1 PORTLAND CEMENT THAT SHALL CONTAIN NO MORE THAN 50% BY WEIGHT FERRIC OXIDE (FE2O3). TC01 ALTERNATE #1 PC01/PC02 PH - INDICATES PARAPET HEIGHT			
LEAVE BLANK (FOR CITY USE ONLY)			



03 L01 SECTION DETAIL
1 1/2" = 1'-0"

02 WEST ELEVATION
3/64" = 1'-0"



01 EAST ELEVATION
3/64" = 1'-0"

NO.	REVISION	DATE	BY

SCALE:
3/64" = 1'-0"

DESIGNED BY: HKS

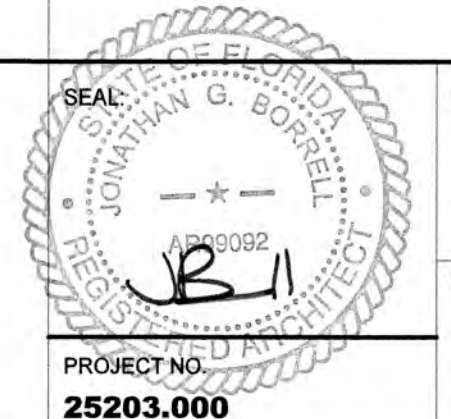
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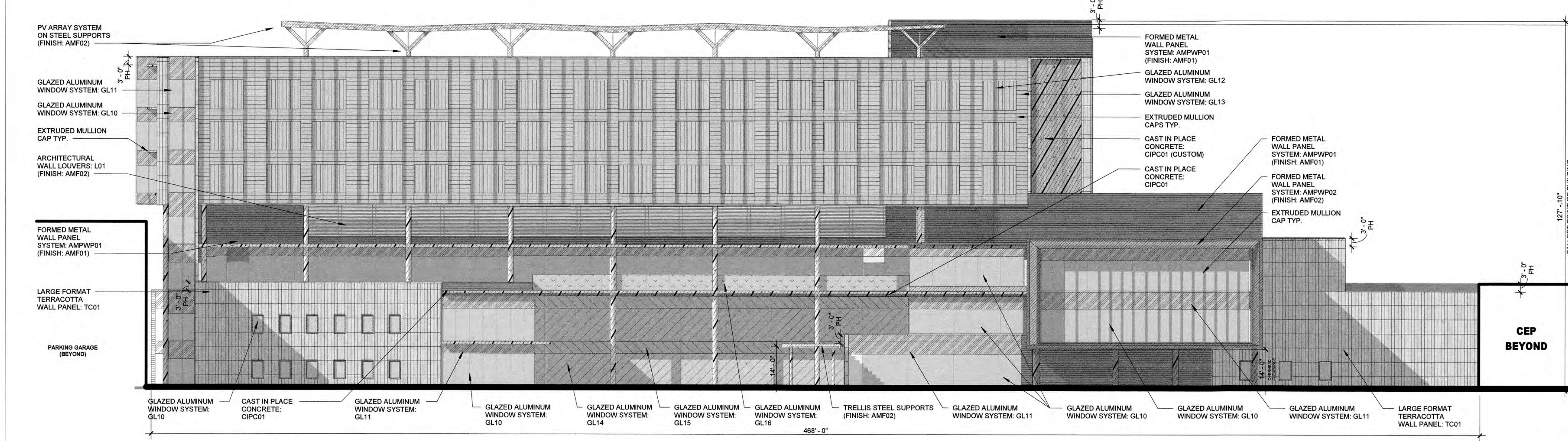
OVERALL BUILDING ELEVATIONS



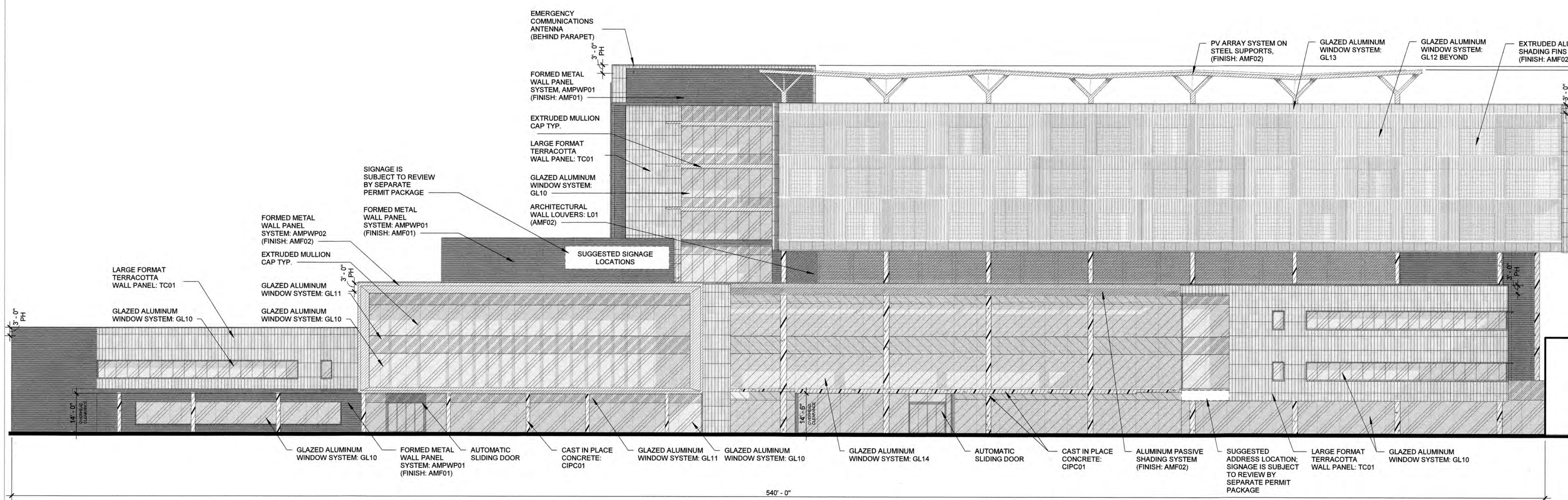
DATE:
04/08/2024

DRAWING NO.
CR5.01

PROJECT NO.
25203.000



02 NORTH ELEVATION
3/64" = 1'-0"



01 SOUTH ELEVATION
3/64" = 1'-0"

PROPOSED EXTERIOR MATERIAL SELECTION SUMMARY

GLAZING DESIGNATIONS

	GL10: 1 5/8" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: GUARDIAN SNX 6227 (#2 SURFACE) LOW IRON LOCATION: TOWER/PUNCHED OPENING		GL14: 1 5/8" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM
	GL11: 1 5/8" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: GUARDIAN SNX 6227 (#2 SURFACE) LOW IRON LOCATION: TOWER/PUNCHED OPENING		GL15: 1 5/8" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM
	GL12: 1 5/8" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: GUARDIAN SNR 43 (#2 SURFACE) VERTICAL WHITE FRIT- SENTRYGLASS EXPRESSIONS (#3 SURFACE) LOW IRON LOCATION: TOWER		GL16: 1/2" TEMPERED AND LAMINATED VISION GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR OR SIMILAR LOCATION: TERRACES
	GL13: 1 5/8" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: GUARDIAN SNR 43 (#2 SURFACE) VERTICAL WHITE FRIT- SENTRYGLASS EXPRESSIONS (#3 SURFACE) LOW IRON LOCATION: TOWER		

GLAZING SYSTEMS

TYPE 01: PUNCHED OPENINGS MANUFACTURER: TBD SIZE: 2' 11" X 1' 12" FINISH COLOR: AMF02 LOCATION: SINGLE PUNCHED OPENING, ADJACENT TO TOWER	TYPE 02: CURTAINWALL - LOBBY HIGH SPAN NON-SUPPORTED MANUFACTURER: TBD SIZE: 2' 11" X 1' 12" FINISH COLOR: AMF02 LOCATION: LOBBY NORTH ELEVATION SPANNING L1 AND L2, SOUTH ELEVATION SPANNING L1, L2 AND L3.	TYPE 03: CURTAINWALL - TYP. MANUFACTURER: TBD SIZE: TBD FINISH COLOR: AMF02 LOCATION: TERRACES, L3 TERRACE	TYPE 04: GLASS TERRACES MANUFACTURER: TBD SIZE: TBD FINISH COLOR: AMF02 LOCATION: TERRACES, L3 TERRACE
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METAL FINISHES	FORMED METAL WALL PANEL
AMF01: MANUFACTURER: PPG DURANAR XL TYPE: ORGANIC COATING - KYNAR 3 COAT COATING COLOR: MEDIUM GRAY UC1980L LOCATION: FACADE, MECHANICAL SCREEN WALL L47, COPING, LOUVERS, BREAK METAL, EXTERIOR DOOR/ITS, DOORS	AMPWP01: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: L1 FACADE, MECHANICAL SCREEN WALL AT L47
AMF02: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: BONE WHITE UC4390 LOCATION: MULLIONS, SHADOW BOX, LOUVERS, L3 TERRACE, PV STRUCTURE, SHADING FINS	AMPWP02: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: VARIOUS
AMF03: MANUFACTURER: ALCOA TYPE: BRUSHED NATURAL ALUMINUM COATING COLOR: CLEAR LOCATION: GARAGE NORTH/SOUTH FACADE	AMPWP03: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: ACCENT METAL PANEL
AMF04: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO MATCH ADJACENT PRECAST (SAMPLE: TORY) NATURAL WICKER (MALT) LOCATION: TRIM, EDGE, COPINGS AT TERRACOTTA	AMPWP04: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD STYLE NAME: FORMED METAL PANEL (L-SHAPE) COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: GARAGE
AMF05: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO CUSTOM COLOR (SAMPLE: SPARKITE) LOCATION: PATIENT TOWER WEST FACADE	METAL MESHES

METAL MESHES

MM01: WIRE MESH MANUFACTURER: OKD METAL FABRICS STYLE NAME: OMEGA 150 PC COLOR/FINISH: SS SIZE: REFERENCE DRAWINGS FOR DIMENSIONS AND PROJECTIONS LOCATION: GARAGE
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ARCHITECTURAL WALL LOUVERS

L01: ARCHITECTURAL WALL LOUVER MANUFACTURER: C-5 GROUP STYLE NAME: DC4-H5704 COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: L4 PRIMARY FACADE, CEP LOUVER

TERRACOTTA WALL PANELS

TC01: (SEE BELOW FOR PC01 ALTERNATE) MANUFACTURER: SILDAN GROUP TYPE: LONGSPAN LARGE FORMAT PANELS STYLE: VARIETY: FLAT, WIDE GROOVES AND DEEP GROOVES COLOR: A: CREME AND B: CHAMPAGNE LOCATION: HOSPITAL AND CEP	ARCHITECTURAL PRECAST PANELS
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ARCHITECTURAL PRECAST PANELS

PC01: (SEE BELOW FOR PC01 ALTERNATE) MANUFACTURER: SILDAN GROUP TYPE: LONGSPAN LARGE FORMAT PANELS STYLE: VARIETY: FLAT, WIDE GROOVES AND DEEP GROOVES ON FORMLINER COLOR: BUFF WHITE LOCATION: GARAGE AND ALTERNATE #1 FOR TC01	ARCHITECTURAL PRECAST CONCRETE
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ARCHITECTURAL PRECAST CONCRETE

PC02: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD STYLE NAME: TEXTURED COLOR: BUFF GRAY, TEXTURE: SANDBLAST LIGHT LOCATION: GARAGE	ARCHITECTURAL PRECAST CONCRETE
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ARCHITECTURAL PRECAST CONCRETE

PC03: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: DUCTAL, LAFARGE, HOLCIM COLOR/TEXTURE: REF. PC01 REF. COLORS/FINISHES: 109 SF 3.0 MIN PER ACI 301 (CLASS 1 TRAFFIC COATING) IS TO BE APPLIED TO TOP SURFACE IF REQUIRED.	ARCHITECTURAL PRECAST CONCRETE
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ARCHITECTURAL PRECAST CONCRETE

PC04: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD STYLE NAME: TEXTURED COLOR: BUFF GRAY, TEXTURE: SANDBLAST LIGHT LOCATION: GARAGE	ARCHITECTURAL PRECAST CONCRETE
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ARCHITECTURAL PRECAST CONCRETE

PC05: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD STYLE NAME: TEXTURED COLOR: BUFF GRAY, TEXTURE: SANDBLAST LIGHT LOCATION: GARAGE	ARCHITECTURAL PRECAST CONCRETE
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ARCHITECTURAL PRECAST CONCRETE

PC06: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD STYLE NAME: TEXTURED COLOR: BUFF GRAY, TEXTURE: SANDBLAST LIGHT LOCATION: GARAGE	ARCHITECTURAL PRECAST CONCRETE
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GENERAL NOTES

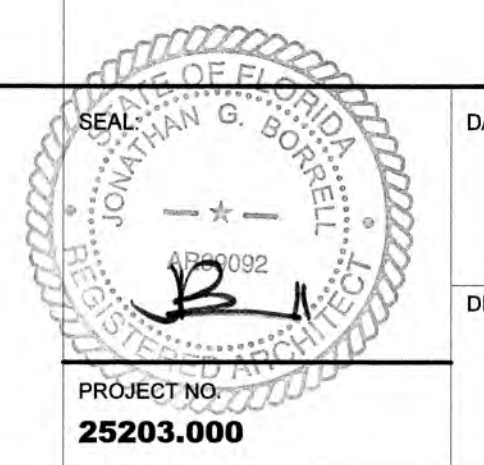
- ALL EXTERIOR MATERIAL SYSTEMS WILL MEET MIAMI-DADE COUNTY NOTICE OF APPROVALS AND FLORIDA PRODUCT APPROVALS
- GLAZING GENERAL NOTES:
1. GRAY GASKETS
2. GRAY STRUCTURAL SILICONE JOINT
3. GRAY WEATHER-SEAL
4. 1/2" MILL SPACER WITH GRAY SILICONE SEAL
- PRECAST CONCRETE GENERAL NOTES:
1. PRECAST CONCRETE ENCOMPASSES MATERIALS THAT COULD ALSO INCLUDE CPIC & SMPG BASED ON PRICING AND PERFORMANCE DATA, & ANALYSIS THROUGH DESIGN PROCESS
- CAST IN PLACE CONCRETE GENERAL NOTES:
1. CEMENT SHALL BE WHITE PORTLAND CEMENT CONFORMING TO THE REQUIREMENT OF THE STANDARD SPECIFICATION FOR PORTLAND CEMENT ASTM C150 FOR TYPE 1 PORTLAND CEMENT THAT SHALL CONTAIN NO MORE THAN .50% BE WEIGHT FERROUS OXIDE (FE2O3)
TC01 ALTERNATE #1 PC01/PC02
PH - INDICATES PARAPET HEIGHT

SCALE:	3/64" = 1'-0"		
DESIGNED BY:	HKS		
DRAWN BY:	HKS		
CHECKED BY:	HKS		
NO.	REVISION	DATE	BY

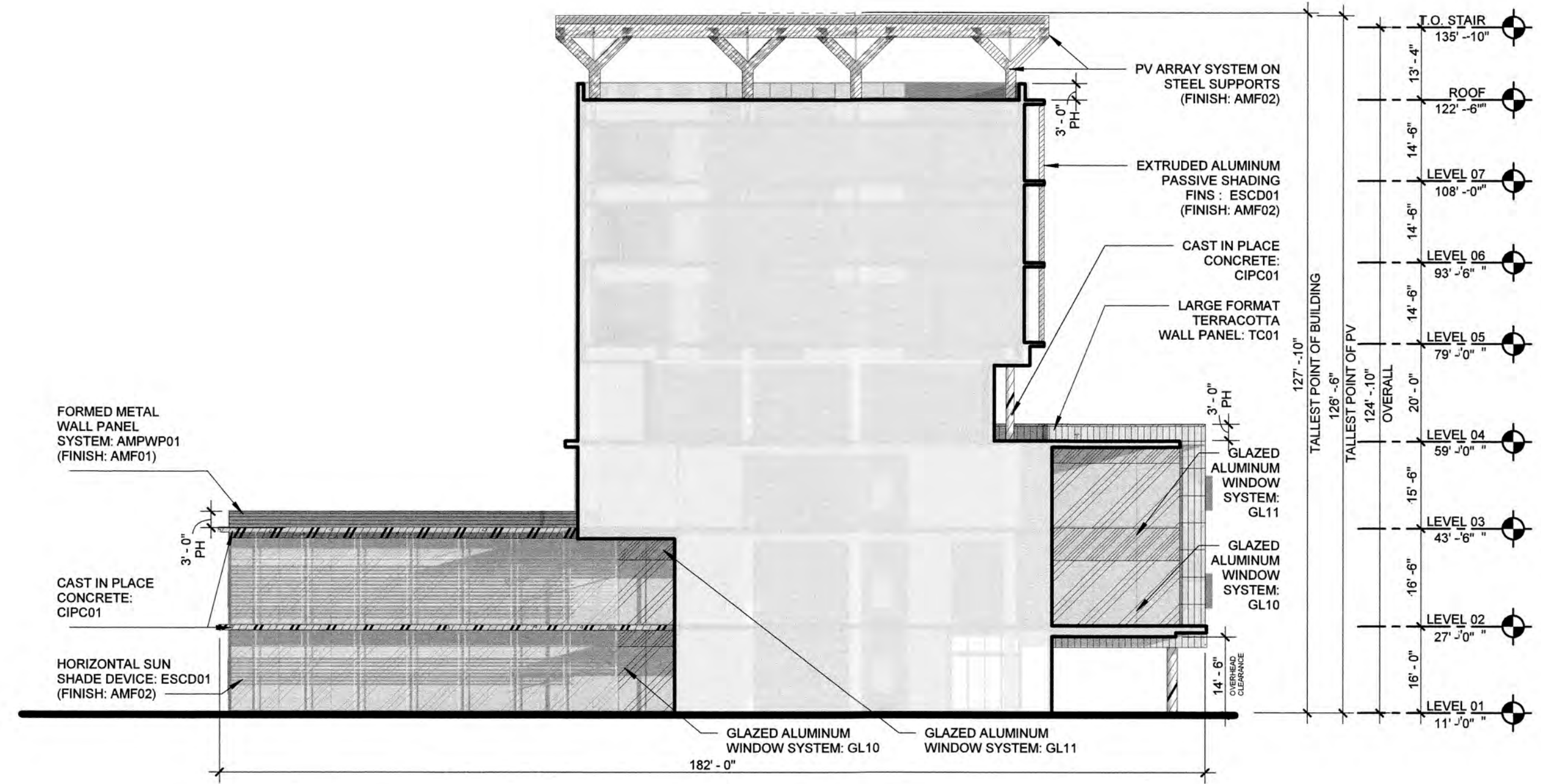


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SUNRISE, FLORIDA

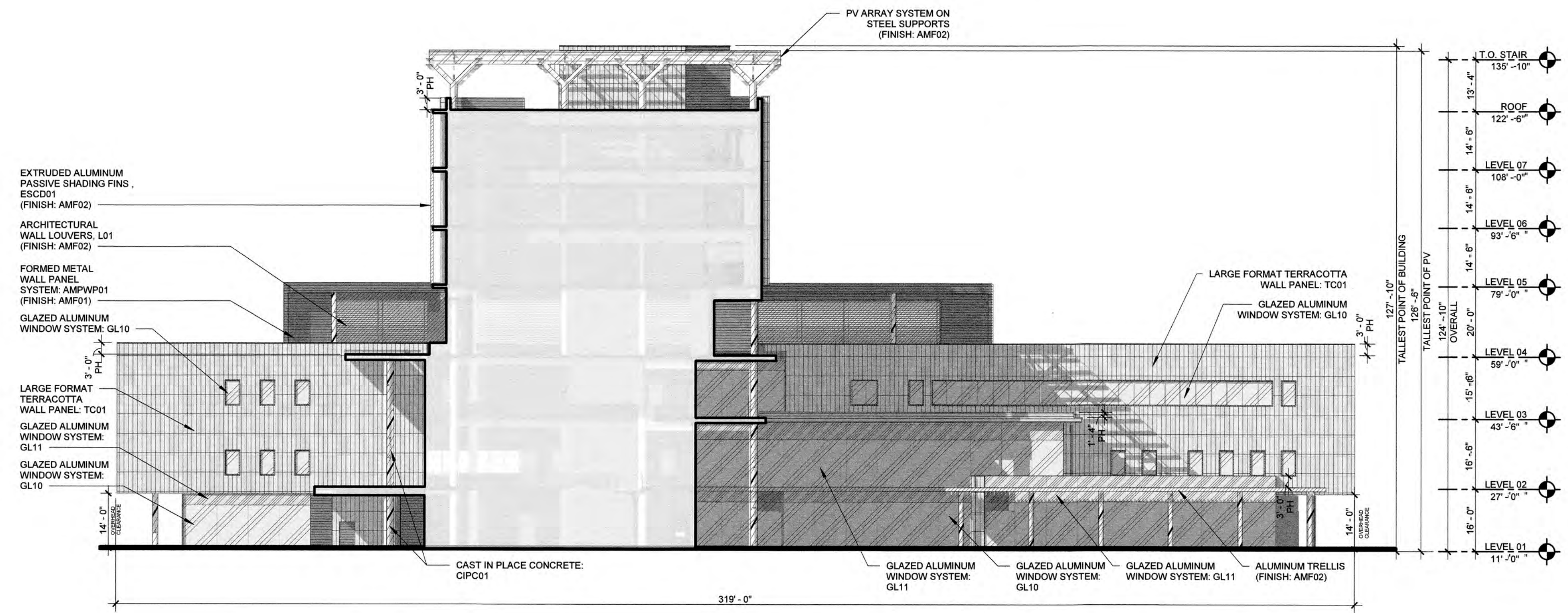
OVERALL BUILDING ELEVATIONS



DATE:	04/08/2024
DRAWING NO.:	CR5.02
PROJECT NO.:	25203.000



02 COURTYARD ELEVATION - EAST
3/64" = 1'-0"



01 COURTYARD ELEVATION - WEST
3/64" = 1'-0"

PROPOSED EXTERIOR MATERIAL SELECTION SUMMARY			
GLAZING DESIGNATIONS			
GL10: 1 5/16" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: GUARDIAN SNX 6227 (#2 SURFACE) LOW IRON LOCATION: TOWER PUNCHED OPENING	GL11: 1 5/16" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: GUARDIAN SNX 6227 (#2 SURFACE) LOW IRON LOCATION: TOWER PUNCHED OPENING	GL12: 1 5/16" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: GUARDIAN SNR 43 (#2 SURFACE) VERTICAL WHITE FRIT - SENTRYGLASS EXPRESSIONS (#3 SURFACE) LOW IRON LOCATION: TOWER	GL13: 1 5/16" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: GUARDIAN SNR 43 (#2 SURFACE) VERTICAL WHITE FRIT - SENTRYGLASS EXPRESSIONS (#3 SURFACE) LOW IRON LOCATION: TOWER
GL14: 1 5/16" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM	GL15: 1 5/16" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM	GL16: 1/2" TEMPERED AND LAMINATED VISION GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR OR SIMILAR LOCATION: TERRACES	
GLAZING SYSTEMS			
TYPE 01: PUNCHED OPENINGS MANUFACTURER: TBD SIZE: 2 1/2" X 7 1/2" FINISH COLOR: AMF02 LOCATION: SINGLE PUNCHED OPENING, ADJACENT TO TC01	TYPE 02: CURTAINWALL - LOBBY HIGH SPAN NON-SUPPORTED MANUFACTURER: TBD SIZE: 2' X 11' FINISH COLOR: AMF02 LOCATION: LOBBY, NORTH, ELEVATION SPANNING L1 AND L2, SOUTH ELEVATION, SPANNING L1, L2 AND L3.	TYPE 03: CURTAINWALL - TYP MANUFACTURER: TBD FINISH COLOR: AMF02 LOCATION: TYPICAL	TYPE 04: GLASS TERRACES MANUFACTURER: TBD FINISH COLOR: AMF02 LOCATION: TERRACES, L3
METAL FINISHES		FORMED METAL WALL PANEL	
AMF01: MANUFACTURER: PPG DURANAR XL TYPE: ORGANIC COATING - KYNAR 3 COAT COATING COLOR: MEDIUM GRAY UC3586L LOCATION: FACADE, MECHANICAL SCREEN WALL, LIFT CORING LOUVERS, BREAK METAL, EXTERIOR SOFFITS, DOORS	AMF02: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: BONE WHITE UC4330 LOCATION: MULLIONS, SHADOW BOX LOUVERS, L3 TERRACE, PV STRUCTURE, SHADING FINIS	AMF03: MANUFACTURER: ALCOA TYPE: BRUSHED NATURAL ALUMINUM COATING COLOR: CLEAR LOCATION: GARAGE NORTHSOUTH FACADE	AMF04: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: DOVE GRAY UC10948 LOCATION: TRIM, EDGE, AND FRAME DETAILS ON BUILDING FACADE, SHADOW BOX FASCIA
AMF05: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO MATCH ADJACENT PRECAST (SAMPLE: IVORY / NATURAL WICKER) WALL LOCATION: TRIM, EDGE, COPINGS AT TERRACOTTA	AMF06: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO CUSTOM COLOR (SAMPLE: GRAPHITE) LOCATION: PATIENT TOWER WEST FACADE	AMPWP01: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: L1 FACADE, MECHANICAL SCREEN WALL AT L47	AMPWP02: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: TERRACES, L3
AMF07: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO CUSTOM COLOR (SAMPLE: GRAPHITE) LOCATION: PATIENT TOWER WEST FACADE		AMPWP03: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: ACCENT METAL PANEL	AMPWP04: MANUFACTURER: DRI-DESIGN STYLE NAME: FORMED METAL PANEL (L-SHAPE) COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: GARAGE
		METAL MESHES	
		MM01: WIRE MESH MANUFACTURER: GKO METAL FABRICS STYLE NAME: OMEGA 1500 PC COLOR/FINISH: SS LOCATION: DRAWINGS FOR DIMENSIONS AND PROJECTIONS LOCATION: GARAGE	
		ARCHITECTURAL WALL LOUVERS	
		L01: ARCHITECTURAL WALL LOUVER MANUFACTURER: C-S GROUP STYLE NAME: DCH-5704 COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: L4 PRIMARY FACADE, CEP LOUVER	
		TERRACOTTA WALL PANELS	
		TC01: (SEE BELOW FOR PC01 ALTERNATE) MANUFACTURER: SHEDAN GROUP TYPE: LONGSPAN LARGE FORMAT PANELS STYLE: VARIETY: FLAT, WIDE GROOVES AND DEEP GROOVES COLOR: A: CREME AND B: CHAMPAGNE LOCATION: HOSPITAL AND ICE	
		ARCHITECTURAL PRECAST PANELS	
		PC01: ARCHITECTURAL PRECAST CONCRETE MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: STYLE: VARIETY: FLAT, WIDE GROOVES AND DEEP GROOVES ON FORMLINER COLOR: BUFF WHITE LOCATION: GARAGE AND ALTERNATE #1 FOR TC01	
		PC02: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: STYLE: NAME: TEXTURED COLOR: BUFF GRAY / TEXTURE: SANDBLAST LIGHT LOCATION: GARAGE	
		PC03: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: COLOR/TEXTURE: REF: PCI REF COLORS/FINISHES: 109 SF-3.0 MIN PER AC 301 (CLASS 1 TRAFFIC COATING TO BE APPLIED TO TOP SURFACE IF REQUIRED).	
		CIP01: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: COLOR/TEXTURE: REF: PCI REF COLORS/FINISHES: 109 SF-3.0 MIN PER AC 301 (CLASS 1 TRAFFIC COATING TO BE APPLIED TO TOP SURFACE IF REQUIRED).	
		GENERAL NOTES	
		<p>ALL EXTERIOR MATERIAL SYSTEMS WILL MEET MIAMI-DADE COUNTY NOTICE OF APPROVALS AND FLORIDA PRODUCT APPROVALS</p> <p>GLAZING GENERAL NOTES: 1. GRAY GASKETS 2. GRAY STRUCTURAL SILICONE JOINT 3. GRAY WEATHERSEAL 4. 1/2" MILL SPACER WITH GRAY SILICONE SEAL</p> <p>PRECAST CONCRETE GENERAL NOTES: 1. PRECAST CONCRETE ENCOMPASSES MATERIALS THAT COULD ALSO INCLUDE GFRG & UPRC BASED ON PRICING AND PERFORMANCE DATA, & ANALYSIS THROUGH DESIGN PROCESS.</p> <p>CAST IN PLACE CONCRETE GENERAL NOTES: 1. CEMENT SHALL BE WHITE PORTLAND CEMENT CONFORMING TO THE REQUIREMENT OF THE STANDARD SPECIFICATION FOR PORTLAND CEMENT, ASTM C150, FOR TYPE 1 PORTLAND CEMENT THAT SHALL CONTAIN NO MORE THAN 50% BY WEIGHT FERRIC OXIDE (FE2O3). TC01 ALTERNATE #1 PC01PC02 PH - INDICATES PARAPET HEIGHT</p>	

LEAVE BLANK (FOR CITY USE ONLY)

SCALE:	3/64" = 1'-0"		
DESIGNED BY:	HKS		
DRAWN BY:	HKS		
CHECKED BY:	HKS		
NO.	REVISION	DATE	BY



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SUNRISE, FLORIDA

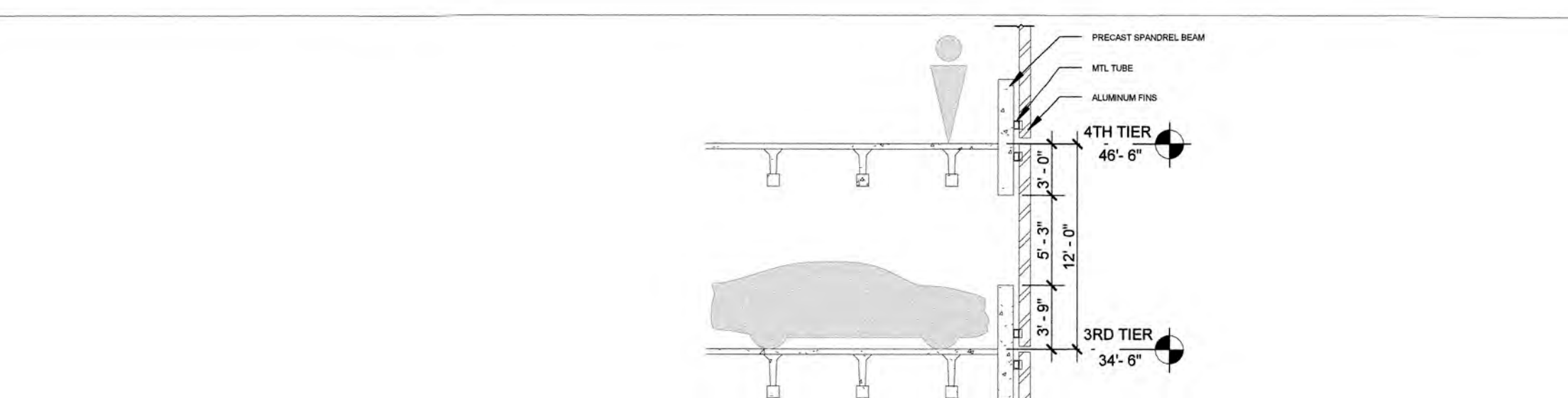
COURTYARD ELEVATIONS



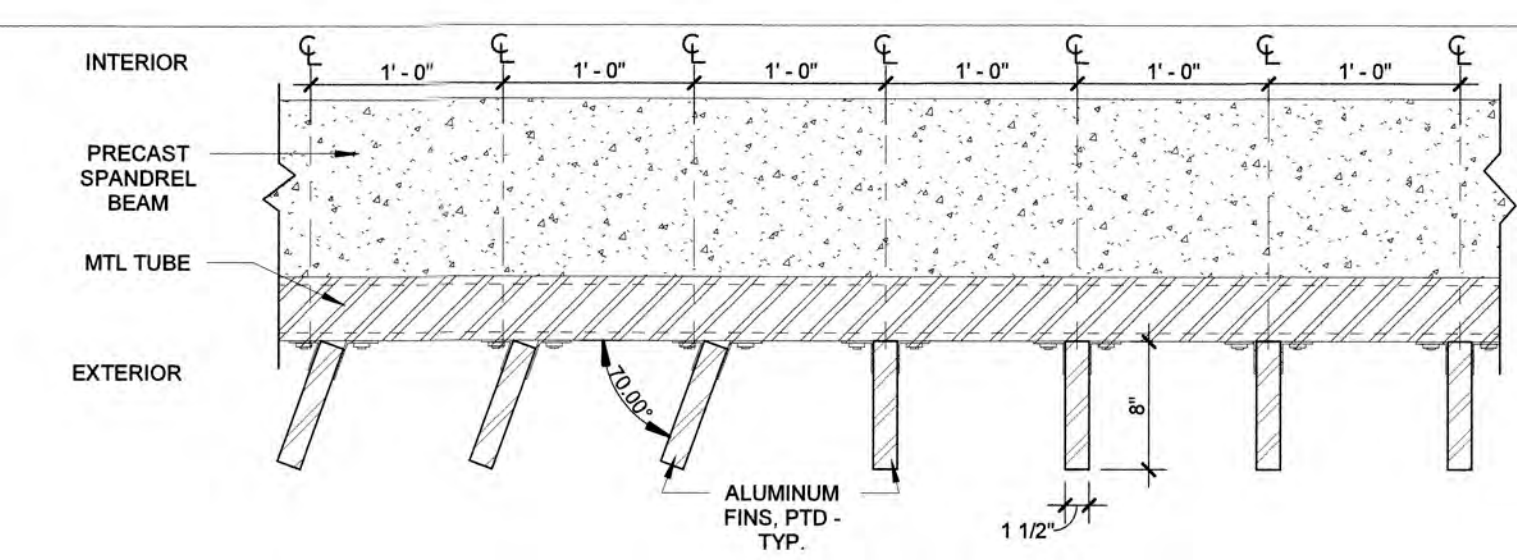
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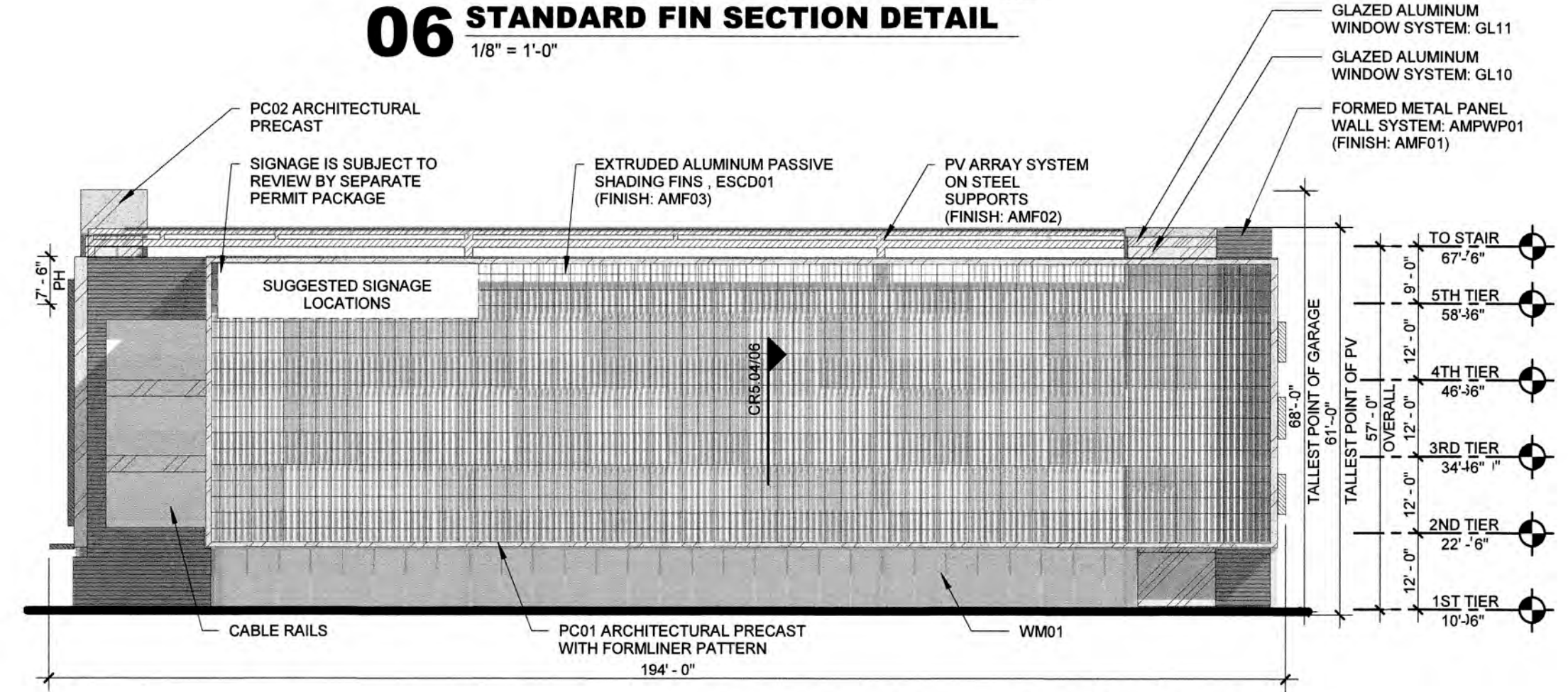
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25203.000



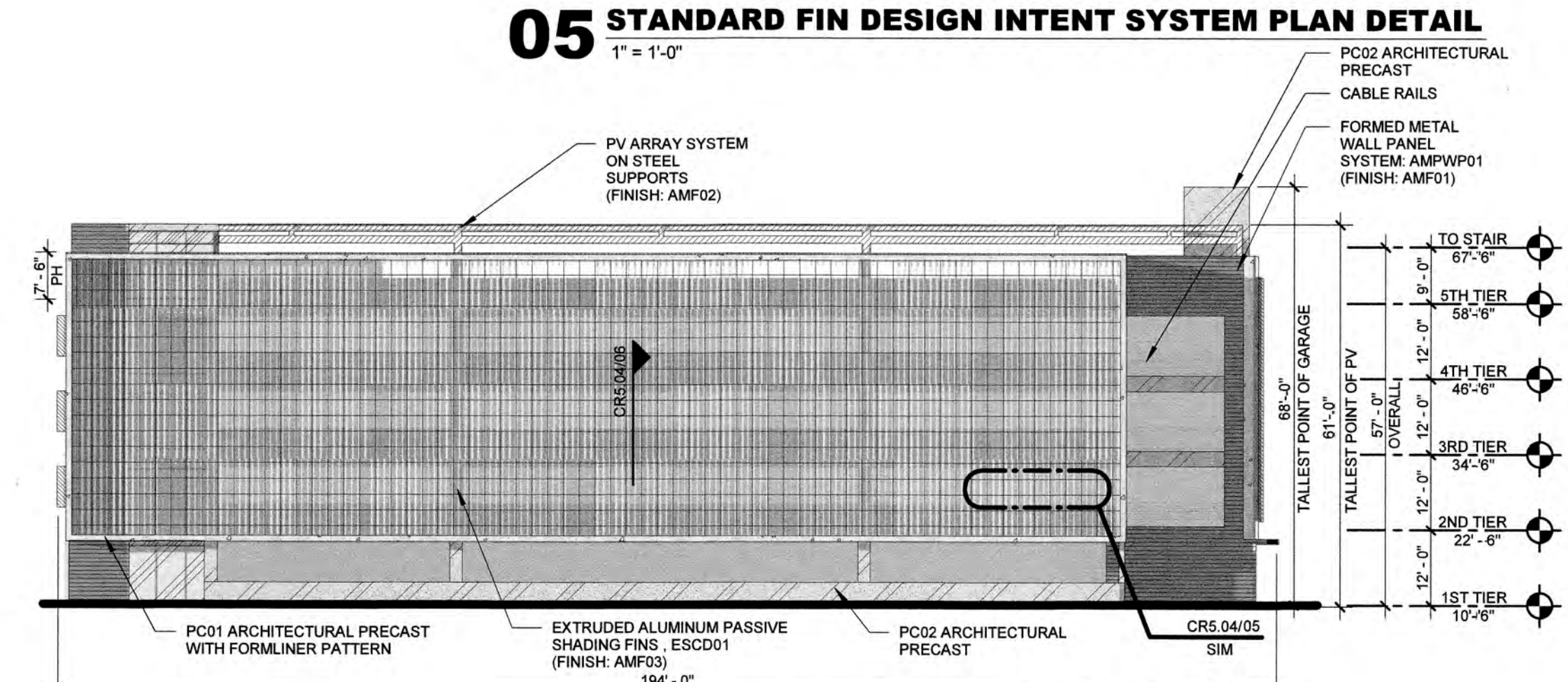
06 STANDARD FIN SECTION DETAIL
1/8" = 1'-0"



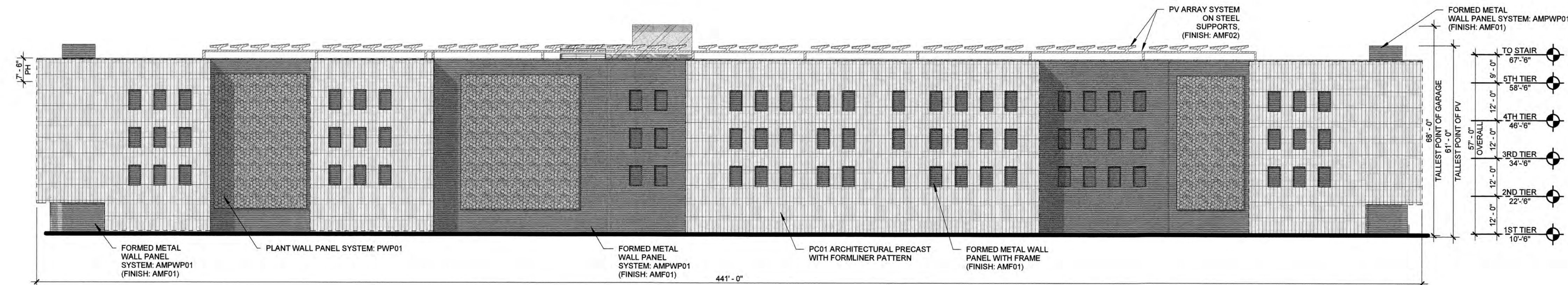
05 STANDARD FIN DESIGN INTENT SYSTEM PLAN DETAIL
1" = 1'-0"



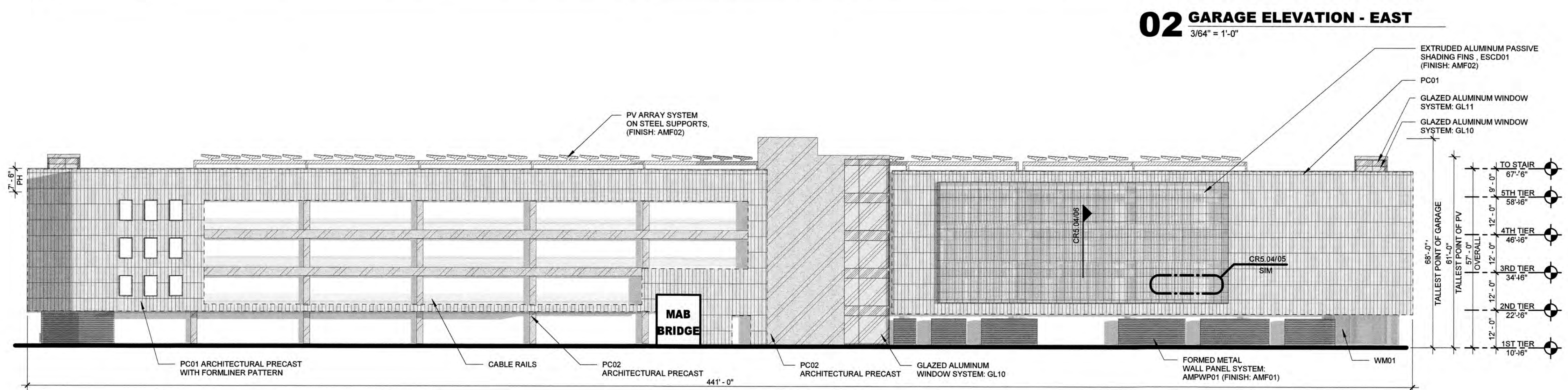
04 GARAGE ELEVATION - SOUTH
3/64" = 1'-0"



03 GARAGE ELEVATION - NORTH
3/64" = 1'-0"



02 GARAGE ELEVATION - EAST
3/64" = 1'-0"



01 GARAGE ELEVATION - WEST
3/64" = 1'-0"

PROPOSED EXTERIOR MATERIAL SELECTION SUMMARY			
GLAZING DESIGNATIONS			
	GL10: 1 5/16" INSULATING - LAMINATED VISION GLAZING TYPE: GUARDIAN SNX 6227 (#2 SURFACE) LOW IRON LOCATION: TOWER/PUNCHED OPENING		GL11: 1 5/16" INSULATING - LAMINATED SHADOW BOX GLAZING TYPE: GUARDIAN SNX 6227 (#2 SURFACE) LOW IRON LOCATION: TOWER/PUNCHED OPENING
	GL12: 1 5/16" INSULATING - LAMINATED VISION GLAZING TYPE: GUARDIAN SNR 43 (#2 SURFACE) VERTICAL WHITE FRIT, SENTRYGLASS EXPRESSIONS (#3 SURFACE) LOW IRON LOCATION: TOWER		GL13: 1 5/16" INSULATING - LAMINATED SHADOW BOX GLAZING TYPE: GUARDIAN SNR 43 (#2 SURFACE) VERTICAL WHITE FRIT, SENTRYGLASS EXPRESSIONS (#3 SURFACE) LOW IRON LOCATION: TOWER
	GL14: 1 5/16" INSULATING - LAMINATED VISION GLAZING TYPE: GUARDIAN SNX 6227 (#2 SURFACE) LOW IRON LOCATION: PODIUM		GL15: 1 5/16" INSULATING - LAMINATED SHADOW BOX GLAZING TYPE: GUARDIAN SNX 6227 (#2 SURFACE) LOW IRON LOCATION: PODIUM
	GL16: 1/2" TEMPERED AND LAMINATED VISION GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM		GL17: 1/2" TEMPERED AND LAMINATED VISION GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR OR SIMILAR LOCATION: TERRACES
GLAZING SYSTEMS			
	TYPE 01: PUNCHED OPENINGS SIZE: 2 1/2" X 7 1/2" FINISH COLOR: AMF02 LOCATION: SINGLE PUNCHED OPENING, ADJACENT TO TC01		TYPE 02: CURTAIN WALL - LOBBY HIGH SPAN NON-SUPPORTED MANUFACTURER: TBD SIZE: 7' X 11' FINISH COLOR: AMF02 LOCATION: LOBBY, NORTH, ELEVATION SPANNING L1 AND L2 SOUTH ELEVATION SPANNING L1, L2 AND L3.
	TYPE 03: CURTAIN WALL - TYP. MANUFACTURER: TBD COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: L1 FACADE, MECHANICAL SCREEN WALL AT L7		TYPE 04: GLASS TERRACES MANUFACTURER: TBD COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: TERRACES, L3 TERRACE
METAL FINISHES		FORMED METAL WALL PANEL	
	AMF01: MANUFACTURER: PPG DURANAR XL TYPE: ORGANIC COATING - KYNAR 3 COAT COATING COLOR: MEDIUM GRAY UC1950L LOCATION: FACADE, MECHANICAL SCREEN WALL L47, COPING, LOUVERS, BREAK METAL, EXTERIOR SOFFITS, DOORS		AMPWP01: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: L1 FACADE, MECHANICAL SCREEN WALL AT L7
	AMF02: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: BONE WHITE UC4350 LOCATION: MILLWORK, SHADOW BOX LOUVERS, L3 TERRACE, PV STRUCTURE, SHADING FIN		AMPWP02: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: ACCENT METAL PANEL
	AMF03: MANUFACTURER: ALCOA TYPE: BRUSHED NATURAL ALUMINUM COATING COLOR: CLEAR LOCATION: GARAGE NORTH/SOUTH FACADE		AMPWP03: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: ACCENT METAL PANEL
	AMF04: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: DOVE GRAY UC1094S LOCATION: TRIM, EDGE, COPINGS AT TERRACOTTA		AMPWP04: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD
	AMF05: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO MATCH ADJACENT PRECAST (SAMPLE: IVORY) (NATURAL WOOD: MALT) LOCATION: TRIM, EDGE, COPINGS AT TERRACOTTA		AMPWP05: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD
	AMF06: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO CUSTOM COLOR (SAMPLE: GRAPHITE) LOCATION: PATIENT TOWER WEST FACADE		AMPWP06: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD
METAL MESHES		ARCHITECTURAL WALL LOUVERS	
	WM01: WIRE MESH MANUFACTURER: CRD METAL FABRICS STYLE NAME: OMEGA 1500 PC COLOR/FINISH: SS SIZE: REFERENCE DRAWINGS FOR DIMENSIONS AND PROJECTIONS LOCATION: GARAGE		L01: ARCHITECTURAL WALL LOUVER MANUFACTURER: O-S GROUP STYLE NAME: OCH-5704 COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: L4 PRIMARY FACADE, CEP LOUVER
TERRACOTTA WALL PANELS		PASSIVE SHADING DEVICE	
	TC01: (SEE BELOW FOR PC01 ALTERNATE) MANUFACTURER: SHIDAN GROUP STYLE: VARIETY: FLAT, WIDE GROOVES AND DEEP GROOVES. COLOR: A-CREME AND B-CHAMPAGNE LOCATION: HOSPITAL, AND CEP		ESCD01: EXTRUDED ALUMINUM PASSIVE SHADING FIN OUTRIGGER: 12" T.D. VERTICAL OR VERTICAL FIN FITTING: TBD COLOR/FINISH: AMF02/TBD
ARCHITECTURAL PRECAST PANELS		ARTIFICIAL PLANT WALL PANELS	
	ARCHITECTURAL PRECAST CONCRETE MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD STYLE: VARIETY: FLAT, WIDE GROOVES AND DEEP GROOVES ON FORMLINER COLOR: BUFF WHITE LOCATION: GARAGE AND ALTERNATE#1 FOR TC01		PWP01: PLANT WALL PANELS MANUFACTURER: TBD COLOR/FINISH: GREEN (VIVIBO) LOCATION: GARAGE EAST FACADE
	PC02: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD STYLE NAME: TEXTURED COLOR: BUFF GRAY / TEXTURE: SANDBLAST LIGHT LOCATION: GARAGE	GENERAL NOTES	
	CPC01: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD COLOR/TEXTURE: REF. PCI REF COLORS/FINISHES: 100 SF-3.0 MIN PER AC 301) CLASS 1 TRAFFIC COATING TO BE APPLIED TO TOP SURFACE IF REQUIRED.	ALL EXTERIOR MATERIAL SYSTEMS WILL MEET MIAMI-DADE COUNTY NOTICE OF APPROVALS AND FLORIDA PRODUCT APPROVALS	
LEAVE BLANK (FOR CITY USE ONLY)		GLAZING GENERAL NOTES: 1. GRAY GASKETS 2. GRAY STRUCTURAL SILICONE JOINT 3. GRAY WEATHER SEAL 4. 1/2" MILL SPACER WITH GRAY SILICONE SEAL	
		PRECAST CONCRETE GENERAL NOTES: 1. PRECAST CONCRETE ENCOMPASSES MATERIALS THAT COULD ALSO INCLUDE GFRG & IFRG BASED ON PRICING AND PERFORMANCE DATA, & ANALYSIS THROUGH DESIGN PROCESS.	
		CAST IN PLACE CONCRETE GENERAL NOTES: 1. CEMENT SHALL BE WHITE PORTLAND CEMENT CONFORMING TO THE REQUIREMENT OF THE STANDARD SPECIFICATION FOR PORTLAND CEMENT ASTM C150. FOR TYPE 1 PORTLAND CEMENT THAT SHALL CONTAIN NO MORE THAN 50% BY WEIGHT FERRIC OXIDE (FE2O3) REQUIRED.	
		TC01 ALTERNATE #1 PC01/PC02 PH - INDICATES PARAPET HEIGHT	

SCALE:	3/64" = 1'-0"		
DESIGNED BY:	HKS		
DRAWN BY:	HKS		
CHECKED BY:	HKS		
NO.	REVISION	DATE	BY



BAPTIST HEALTH SUNRISE HOSPITAL
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

GARAGE ELEVATIONS

DATE: 04/08/2024
DRAWING NO.: CR5.04
PROJECT NO.: 25203.000

PROPOSED EXTERIOR MATERIAL SELECTION SUMMARY

GLAZING DESIGNATIONS

<p>GL10: 1 5/16" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: GUARDIAN SNX 6227 (#2 SURFACE) LOW IRON LOCATION: TOWER/PUNCHED OPENING</p>	<p>GL11: 1 5/16" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: GUARDIAN SNX 6227 (#2 SURFACE) LOW IRON LOCATION: TOWER/PUNCHED OPENING</p>	<p>GL12: 1 5/16" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: GUARDIAN SNR 43 (#2 SURFACE) VERTICAL WHITE FRIT- SENTRYGLASS EXPRESSIONS (#3 SURFACE) LOW IRON LOCATION: TOWER</p>	<p>GL13: 1 5/16" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: GUARDIAN SNR 43 (#2 SURFACE) VERTICAL WHITE FRIT- SENTRYGLASS EXPRESSIONS (#3 SURFACE) LOW IRON LOCATION: TOWER</p>	<p>GL14: 1 5/16" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM</p>	<p>GL15: 1 5/16" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM</p>	<p>GL16: 1/2" TEMPERED AND LAMINATED VISION GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR OR SIMILAR LOCATION: TERRACES</p>
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GLAZING SYSTEMS

<p>TYPE 01: PUNCHED OPENINGS MANUFACTURER: TBD SIZE: 2' X 11' FINISH COLOR: AMF02 LOCATION: SINGLE PUNCHED OPENINGS, ADJACENT TO TC01</p>	<p>TYPE 02: CURTAINWALL - LOBBY HIGH SPAN NON-SUPPORTED MANUFACTURER: TBD SIZE: 2' X 11' FINISH COLOR: AMF02 LOCATION: LOBBY, NORTH ELEVATION SPANNING L1 AND L2 SOUTH ELEVATION SPANNING L1, L2 AND L3.</p>	<p>TYPE 03: CURTAINWALL - TYP. MANUFACTURER: TBD SIZE: TBD FINISH COLOR: AMF02 LOCATION: TYPICAL</p>	<p>TYPE 04: GLASS TERRACES MANUFACTURER: TBD SIZE: TBD FINISH COLOR: AMF02 LOCATION: TERRACES, L3 TERRACE</p>
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METAL FINISHES

<p>AMF01: MANUFACTURER: PPG DURANAR XL TYPE: ORGANIC COATING - KYNAR 3 COAT COATING COLOR: MEDIUM GRAY UC3595G LOCATION: FACADE, MECHANICAL SCREEN WALL L47, COPING LOUVERS, BREAK METAL, EXTERIOR SOFFITS, DOORS</p>	<p>AMF02: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: BONE WHITE UC43350 LOCATION: MULLIONS, SHADOW BOX LOUVERS, L3 TERRACE, PV STRUCTURE, SHADING FINS</p>	<p>AMF03: MANUFACTURER: ALCOA TYPE: BRUSHED NATURAL ALUMINUM COATING COLOR: CLEAR LOCATION: GARAGE NORTH/SOUTH FACADE</p>	<p>AMF04: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: DOVE GRAY UC10648 LOCATION: TRIM, EDGE, COPINGS AT TERRACOTTA</p>	<p>AMF05: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO CUSTOM COLOR (SAMPLE: GRAPHITE) LOCATION: PATIENT TOWER WEST FACADE</p>	<p>AMF06: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO CUSTOM COLOR (SAMPLE: GRAPHITE) LOCATION: PATIENT TOWER WEST FACADE</p>
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FORMED METAL WALL PANEL

<p>AMPWP01: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: L1 FACADE, MECHANICAL SCREEN WALL AT L47</p>	<p>AMPWP02: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: VARIOUS</p>	<p>AMPWP03: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: ACCENT METAL PANEL</p>
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METAL MESHES

<p>MM01: WIRE MESH MANUFACTURER: GKO METAL FABRICS STYLE NAME: OMEGA 1538 PC COLOR/FINISH: SS SIZE: REFERENCE DRAWINGS FOR DIMENSIONS AND PROJECTIONS LOCATION: GARAGE</p>

ARCHITECTURAL WALL LOUVERS

<p>L01: ARCHITECTURAL WALL LOUVER MANUFACTURER: C-S GROUP STYLE NAME: DCH-5704 COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: L4 PRIMARY FACADE, CEP LOUVER</p>

PASSIVE SHADING DEVICE

<p>ESCD01: EXTRUDED ALUMINUM PASSIVE SHADING FINS FITTING: TBD COLOR/FINISH: AMF02/TBD</p>

ARCHITECTURAL PRECAST PANELS

<p>PC01: ARCHITECTURAL PRECAST CONCRETE MANUFACTURER: SHOLDAN GROUP TYPE: LONGSPAN LARGE FORMAT PANELS STYLE: VARIETY: FLAT, WIDE GROOVES AND DEEP GROOVES COLOR: BUFF WHITE LOCATION: GARAGE AND ALTERNATE#1 FOR TC01</p>

ARTIFICIAL PLANT WALL PANELS

<p>PWP01: PLANT WALL PANELS MANUFACTURER: TBD COLOR/FINISH: GREEN IVY/TBD LOCATION: GARAGE EAST FACADE</p>

GENERAL NOTES

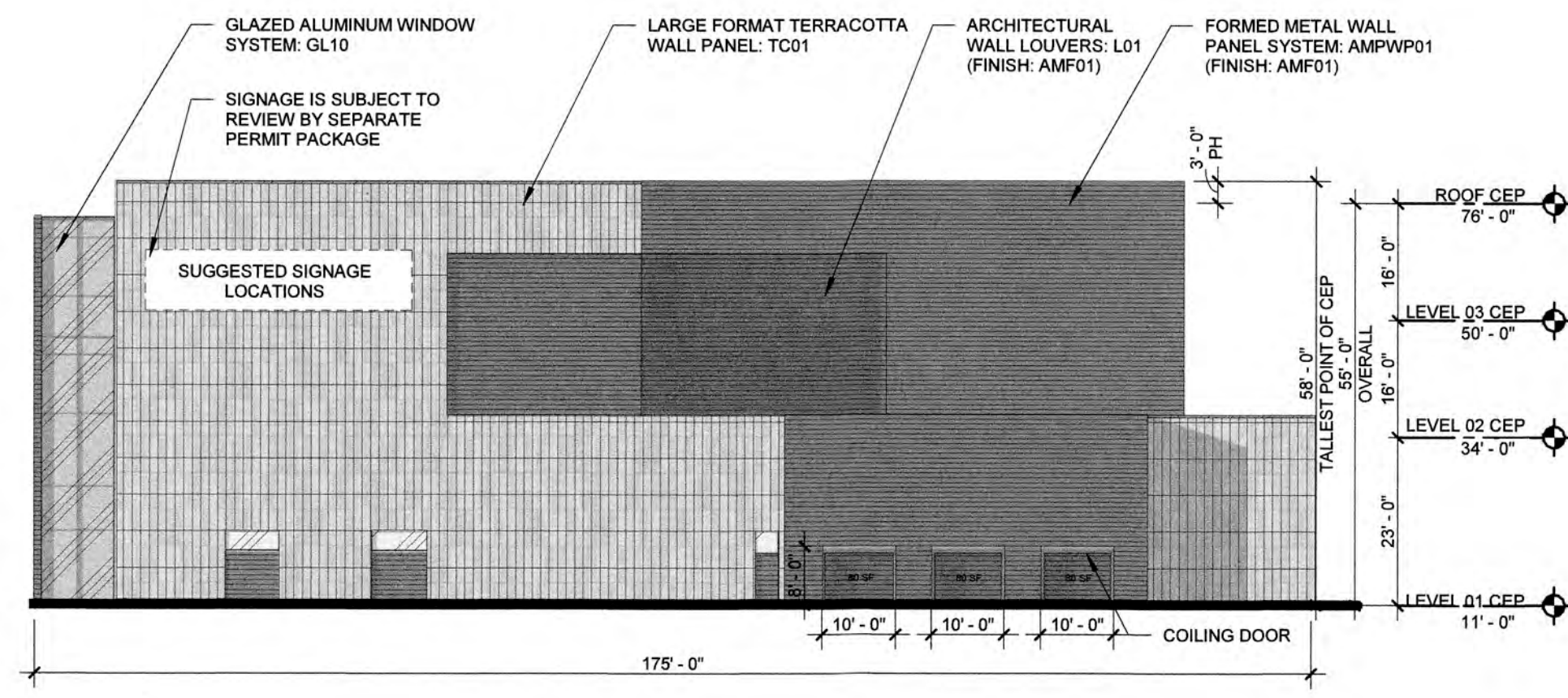
ALL EXTERIOR MATERIAL SYSTEMS WILL MEET MIAMI-DADE COUNTY NOTICE OF APPROVALS AND FLORIDA PRODUCT APPROVALS

GLAZING GENERAL NOTES:
1. GLAZING SYSTEMS SHALL BE WHITE PORTLAND CEMENT
2. GRAY STRUCTURAL SILICONE JOINT
3. GRAY WEATHER SEAL
4. 1/2" MILL SPACER WITH GRAY SILICONE SEAL

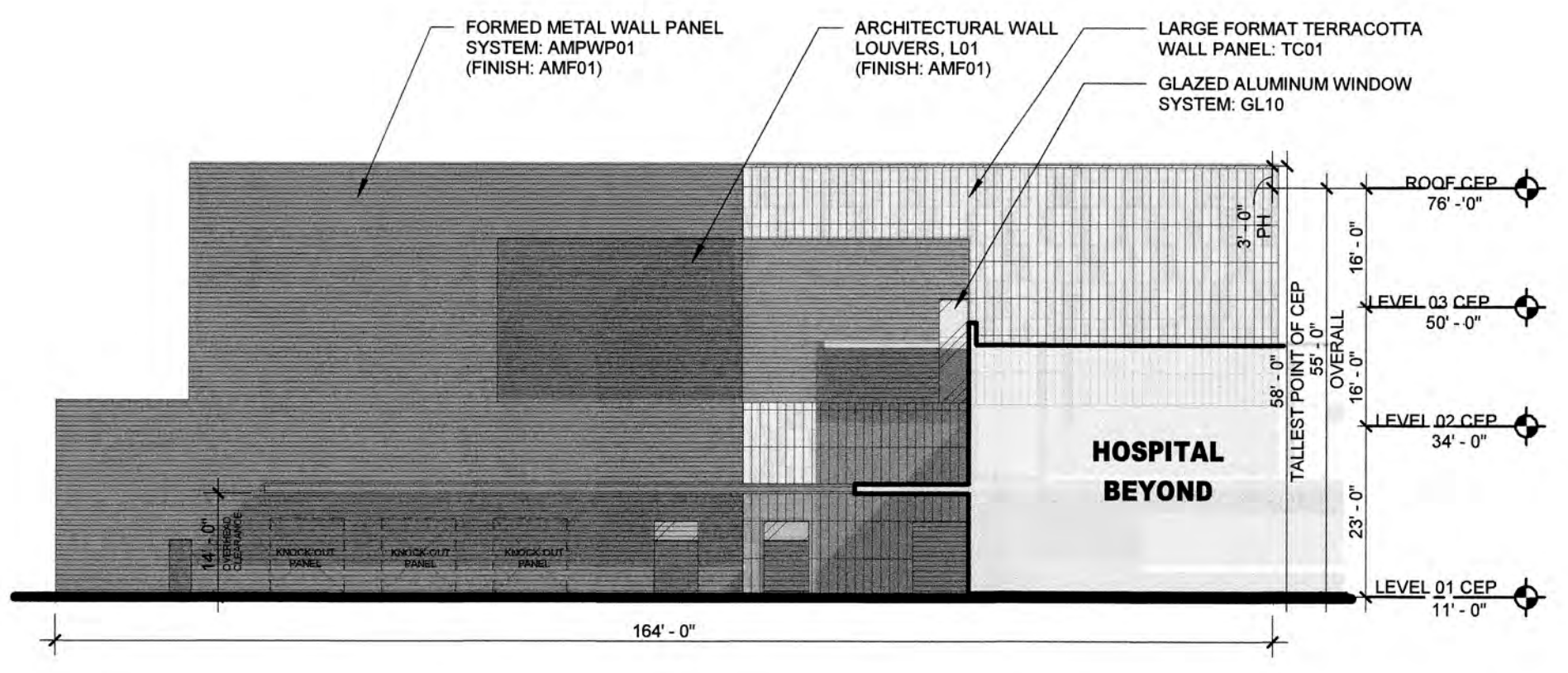
PRECAST CONCRETE GENERAL NOTES:
1. PRECAST CONCRETE ENCOMPASSES MATERIALS THAT COULD ALSO INCLUDE GRC & URPC BASED ON PRICING AND PERFORMANCE DATA, & ANALYSIS THROUGH DESIGN PROCESS

CAST IN PLACE CONCRETE GENERAL NOTES:
1. CEMENT SHALL BE WHITE PORTLAND CEMENT
2. FOLLOWING TO THE REQUIREMENT OF THE STANDARD SPECIFICATION FOR PORTLAND CEMENT, ASTM C150, FOR TYPE 1 PORTLAND CEMENT THAT SHALL CONTAIN NO MORE THAN 50% BE WEIGHT FERRIC OXIDE (FE2O3)
TC01 ALTERNATE #1 PC01/PC02
PH - INDICATES PARAPET HEIGHT

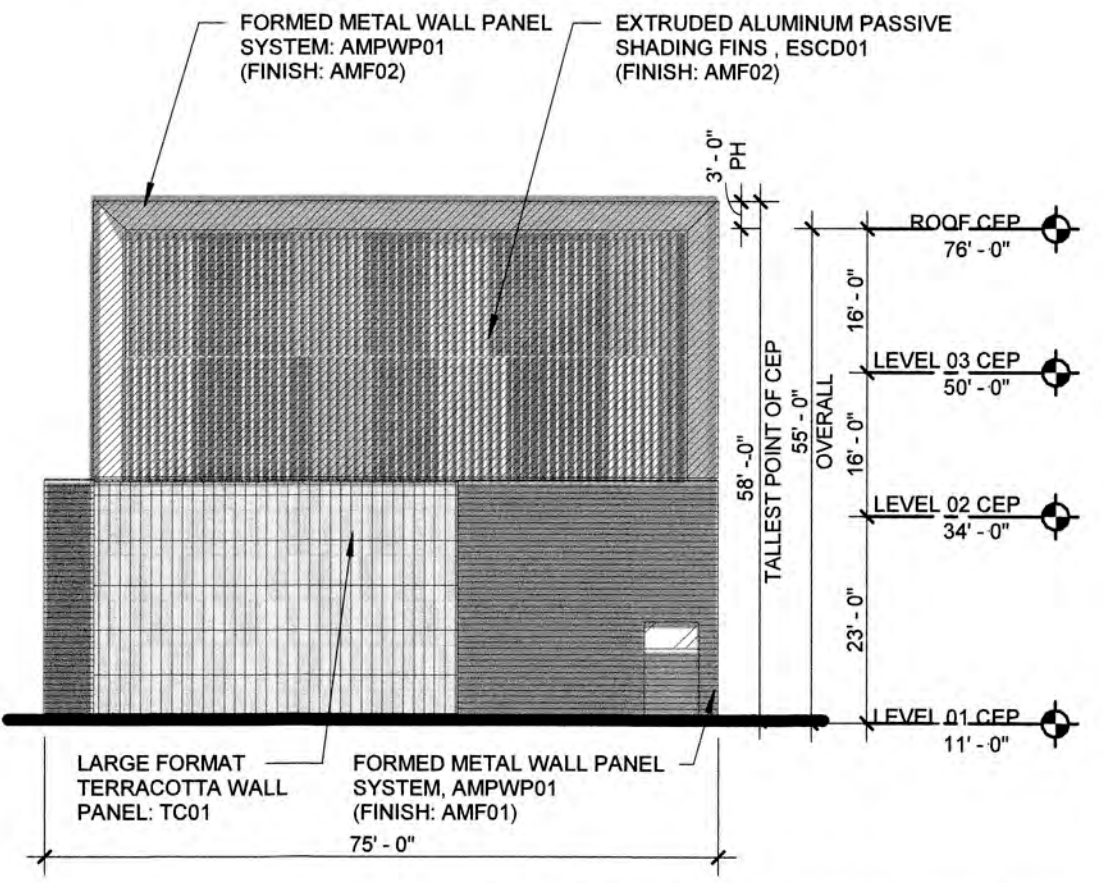
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03 CEP ELEVATION - NORTH
3/64" = 1'-0"



02 CEP ELEVATION - SOUTH
3/64" = 1'-0"



01 CEP ELEVATION - WEST
3/64" = 1'-0"

SCALE:	3/64" = 1'-0"		
DESIGNED BY:	HKS		
DRAWN BY:	HKS		
CHECKED BY:	HKS		
NO.	REVISION	DATE	BY



BAPTIST HEALTH SUNRISE HOSPITAL
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

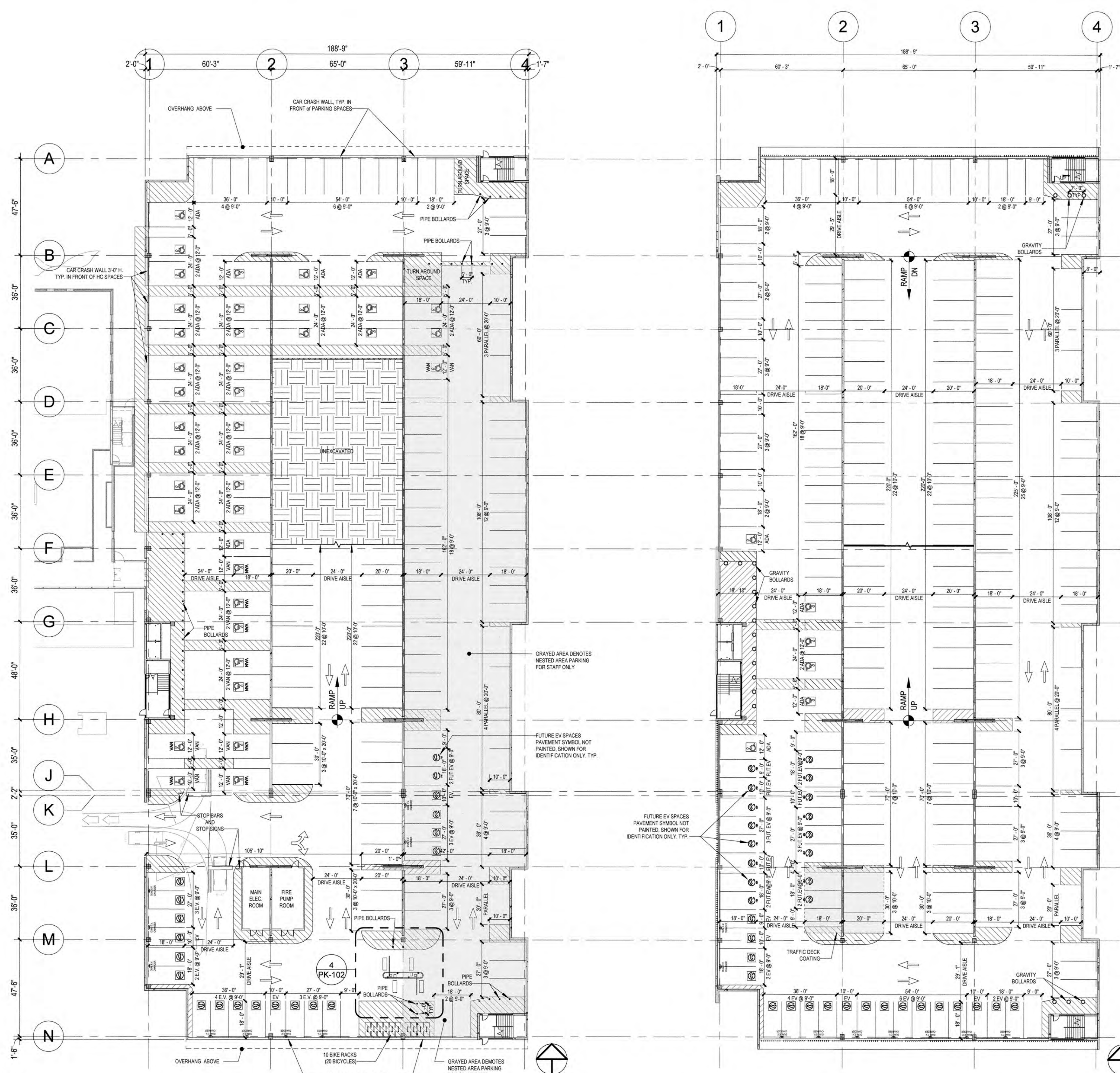
CEP ELEVATIONS

SEAL: [Professional Seal]

DATE: **04/08/2024**

DRAWING NO. **CR5.05**

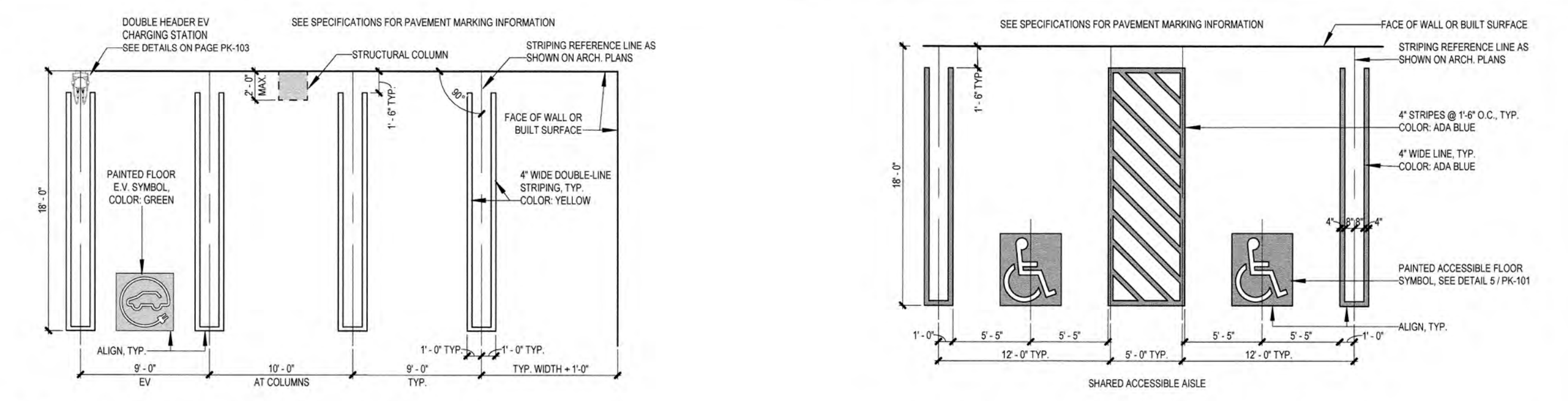
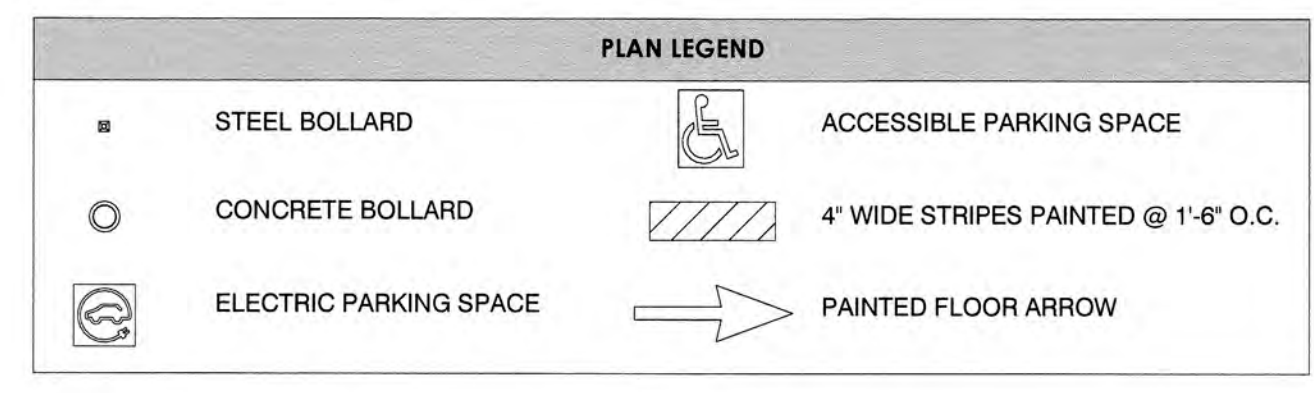
PROJECT NO. **25203.000**



1 FIRST LEVEL ARCHITECTURAL PLAN
1" = 30'-0"

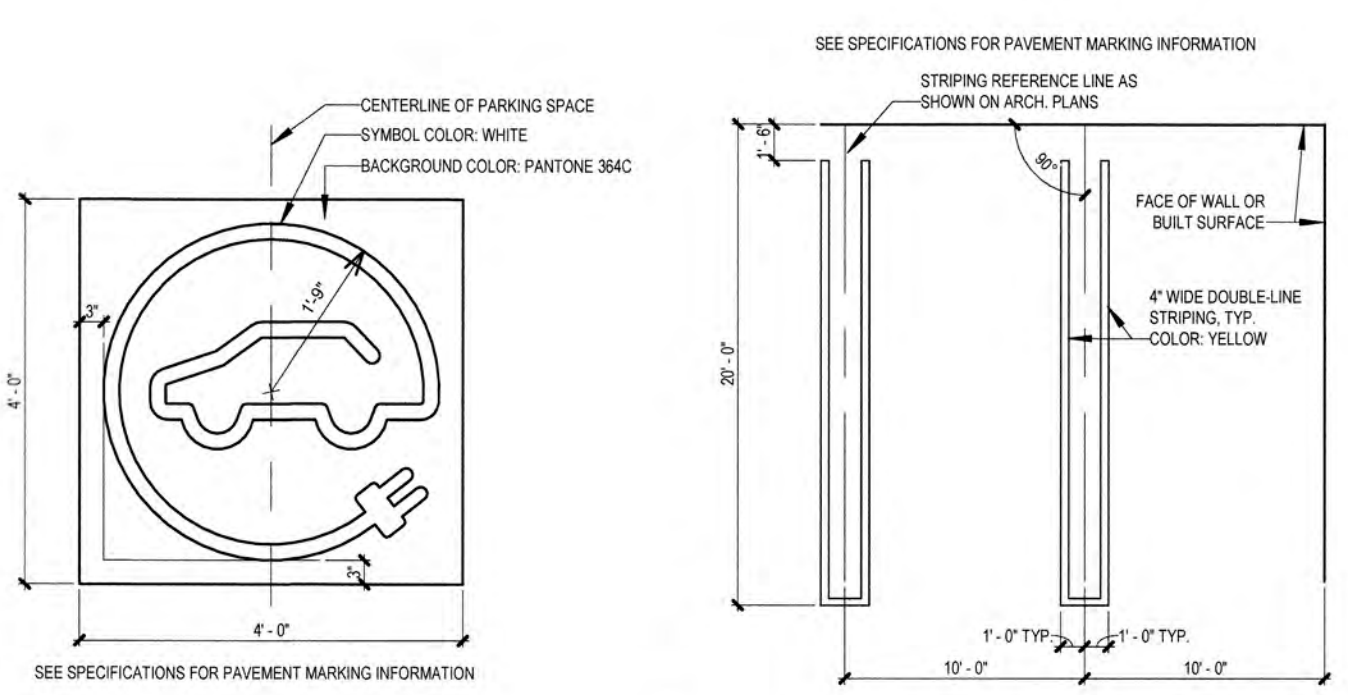
2 SECOND LEVEL ARCHITECTURAL PLAN
1" = 30'-0"

OPENNESS CALCULATIONS				DISTRIBUTION OF OPENINGS CALCULATIONS			
	TOTAL WALL AREA (SF)	REQ'D SF OPEN (20% OF TOTAL)	PROVIDED SF OPEN	TOTAL LEVEL PERIMETER	REQ'D LN FT OPEN (40% OF TOTAL)	TOTAL LEVEL PERIMETER	PROVIDED REQ'D
4TH TIER	14,314 SF	2,863 SF	3,625 SF	1,236'-8"	494'-8"	530'-2"	COMPLIES
3RD TIER	14,314 SF	2,863 SF	3,625 SF	1,236'-8"	494'-8"	530'-2"	COMPLIES
2ND TIER	14,314 SF	2,863 SF	3,344 SF	1,236'-8"	494'-8"	496'-2"	COMPLIES
GROUND TIER	14,323 SF	2,865 SF	3,061 SF	1,236'-8"	494'-8"	505'-0"	COMPLIES



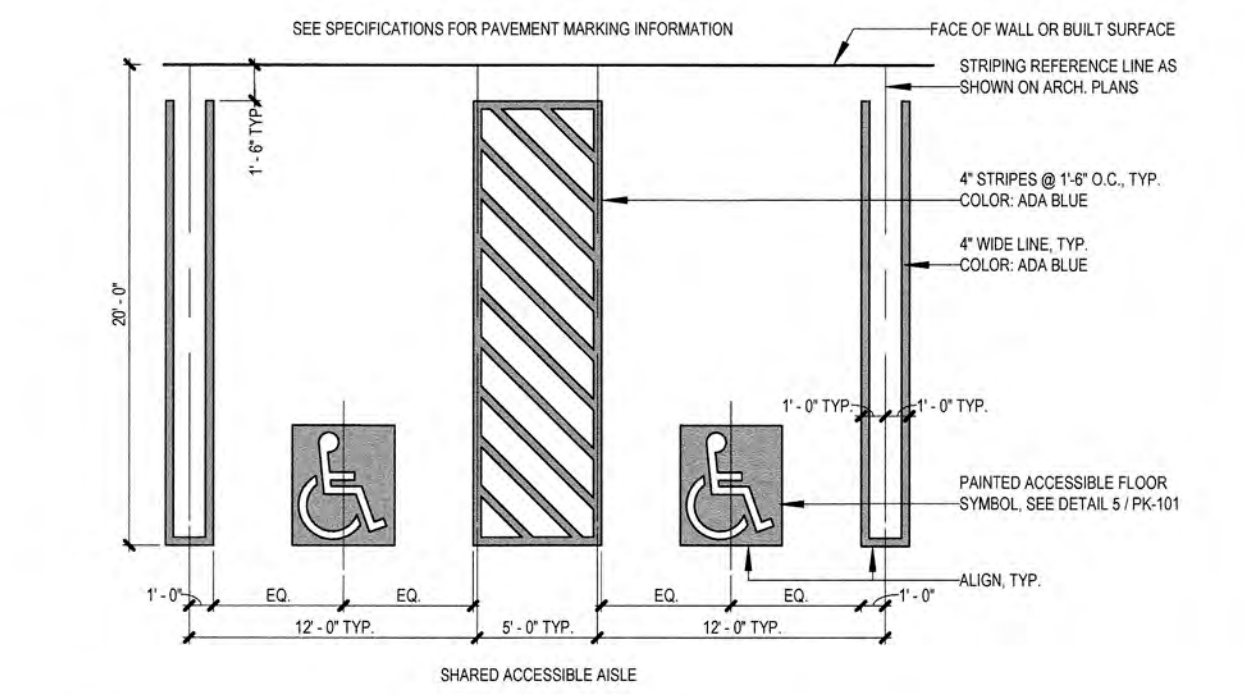
3 PARKING STRIPING DETAIL - 18'-0" STANDARD
1/8" = 1'-0"

4 PARKING STRIPING DETAIL - 18'-0" ACCESSIBLE
1/8" = 1'-0"

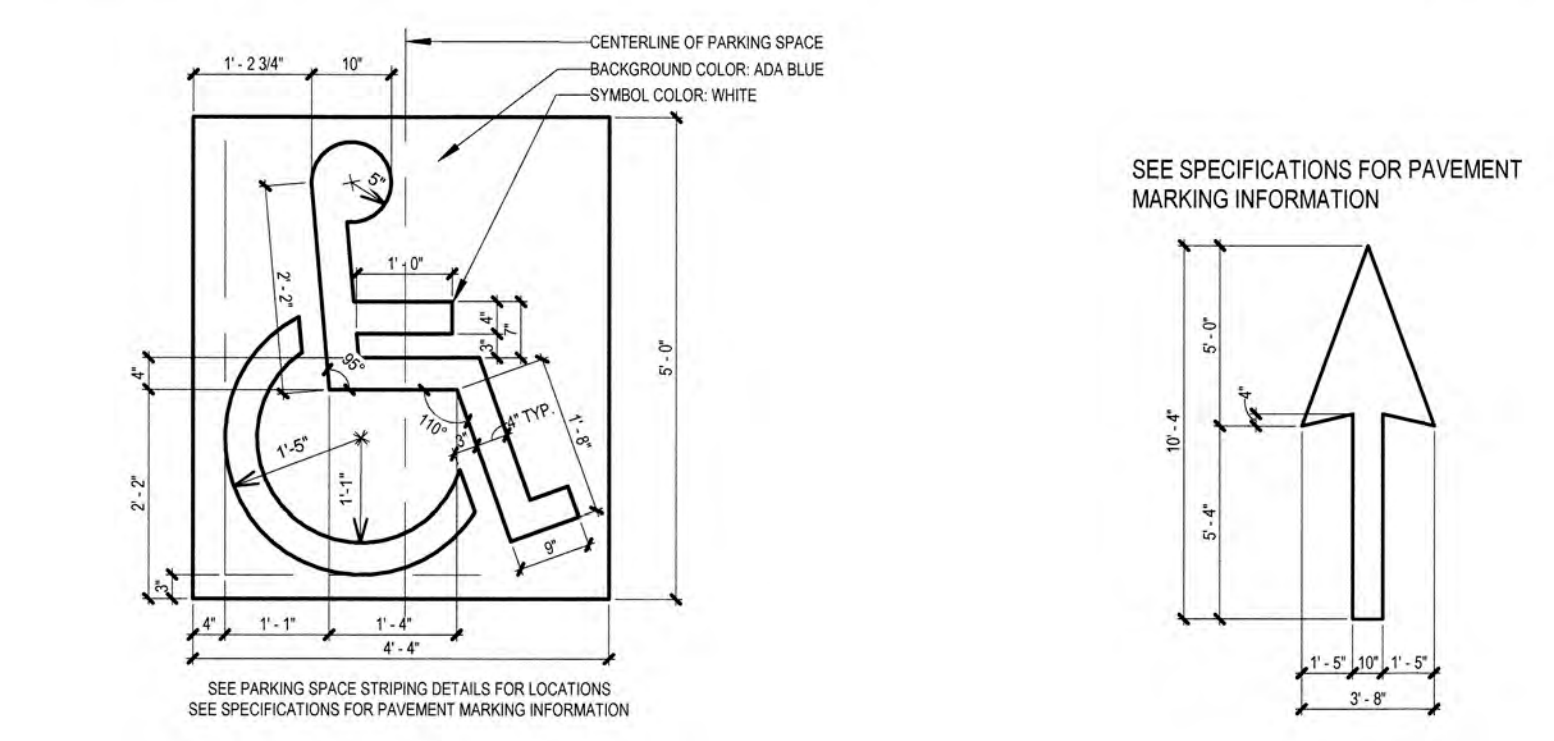


5 PAINTED EV VEHICLE SYMBOL
1/2" = 1'-0"

6 PARKING STRIPING DETAIL - 20'-0" X 10'-0"
1/8" = 1'-0"

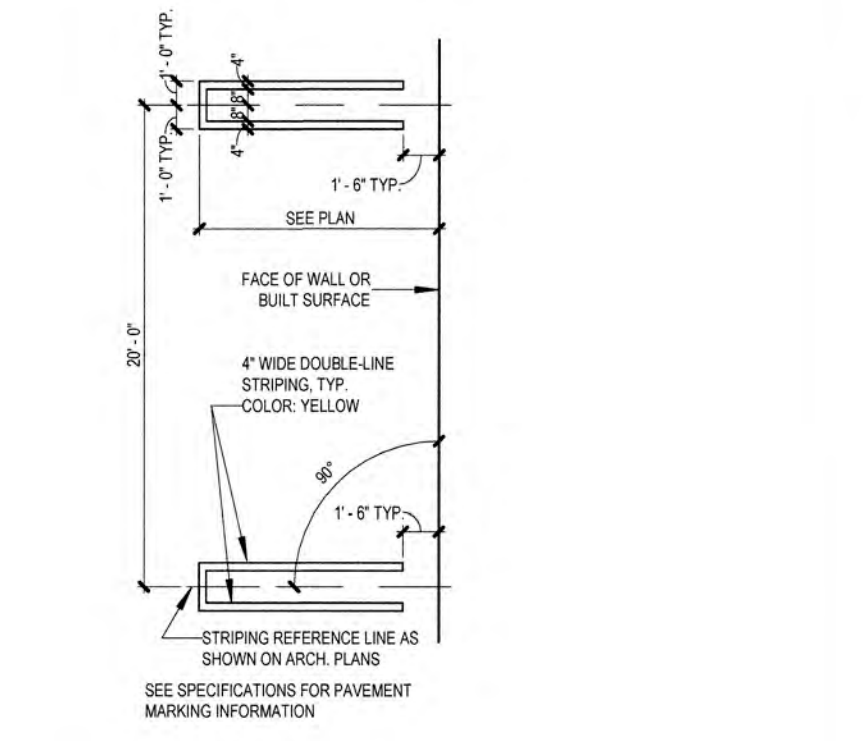


7 PARKING STRIPING DETAIL - 20'-0" ACCESSIBLE
1/8" = 1'-0"



8 PAINTED INTERNATIONAL SYMBOL OF ACCESS DETAIL
1/2" = 1'-0"

9 PAINTED FLOOR ARROW DETAILS
PK-101 3/16" = 1'-0"



10 PARKING STRIPING DETAIL - PARALLEL DBL LINE
1/8" = 1'-0"

TYPE LEVEL	GENERAL PARKING SPACE TABULATION										
	STANDARD 9'-0" x 18'-0"	STANDARD 10'-0" x 20'-0"	AT COLUMN 10'-0" x 18'-0"	DAY 1 EV 9'-0" x 18'-0"	FUTURE EV 9'-0" x 18'-0"	ADA 12'-0" x 18'-0"	ADA 12'-0" x 20'-0"	VAN ACCESSIBLE 12'-0" x 18'-0"	TOTAL (NO PARALLEL)	PARALLEL 20'-0" x 10'-0"	TOTAL (INCLUDING PARALLEL)
TOP	137	46	14	0	0	0	0	0	197	8	205
FOURTH	120	64	11	0	16	6	0	0	217	8	225
THIRD	104	64	8	18	16	6	0	0	216	8	224
SECOND	103	64	7	18	16	6	0	0	214	8	222
GROUND	16	29	2	14	0	21	6	9	97	0	97
TOTAL TYPE	480	267	42	50	48	39	6	9	941	32	973

TYPE LEVEL	NESTED AREA PARKING SPACE TABULATION										
	STANDARD 9'-0" x 18'-0"	STANDARD 10'-0" x 20'-0"	AT COLUMN 10'-0" x 18'-0"	DAY 1 EV 9'-0" x 18'-0"	FUTURE EV 9'-0" x 18'-0"	ADA 12'-0" x 18'-0"	ADA 12'-0" x 20'-0"	VAN ACCESSIBLE 12'-0" x 18'-0"	TOTAL (NO PARALLEL)	PARALLEL 20'-0" x 10'-0"	TOTAL (INCLUDING PARALLEL)
GROUND	43	0	0	4	2	2	0	1	-	8	-
TOTAL TYPE	43	0	0	4	2	2	0	1	52	8	60

- NOTES:
- PER ZONING 9'-0" x 18'-0" SPACES UP TO 80% OF TOTAL SPACES
 - 10'-0" x 20'-0" SPACES USED ON CENTER BAY AT RAMPS, TYPICAL
 - 10'-0" x 18'-0" SPACES USED AT SPACES WITH COLUMNS
 - NESTED STAFF PARKING AT GROUND TIER = 60 SPACES
 - 3 ADA SPACES REQUIRED
 - 4 DAY-1 EV SPACES @ 5%
 - 2 FUTURE EV SPACES TOTALING 10% EV
 - OUTPATIENT PARKING = 400 SPACES @ 10%
 - 40 ADA SPACES
 - REMAINING STAFF / VISITOR PARKING @ 2% = ± (973 - 400) = 573 SPACES
 - 12 ADA SPACES
 - ELECTRIC VEHICLE PARKING @ 5% = (1,033 - 60) = 973 SPACES
 - DAY-1 = 50 SPACES
 - FUTURE 48 SPACES, TOTALING 10% EV

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No.	REVISIONS	DATE	BY	CHECKER

SCALE: As Indicated

DESIGNED BY: Designer

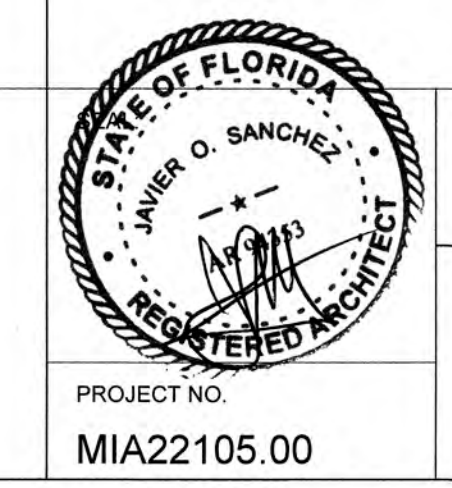
DRAWN BY: Author

CHECKED BY: Checker

THA
THA CONSULTING
40 NW 3rd Street, Suite 1102,
Miami, Florida 33128

BHSF GARAGE
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

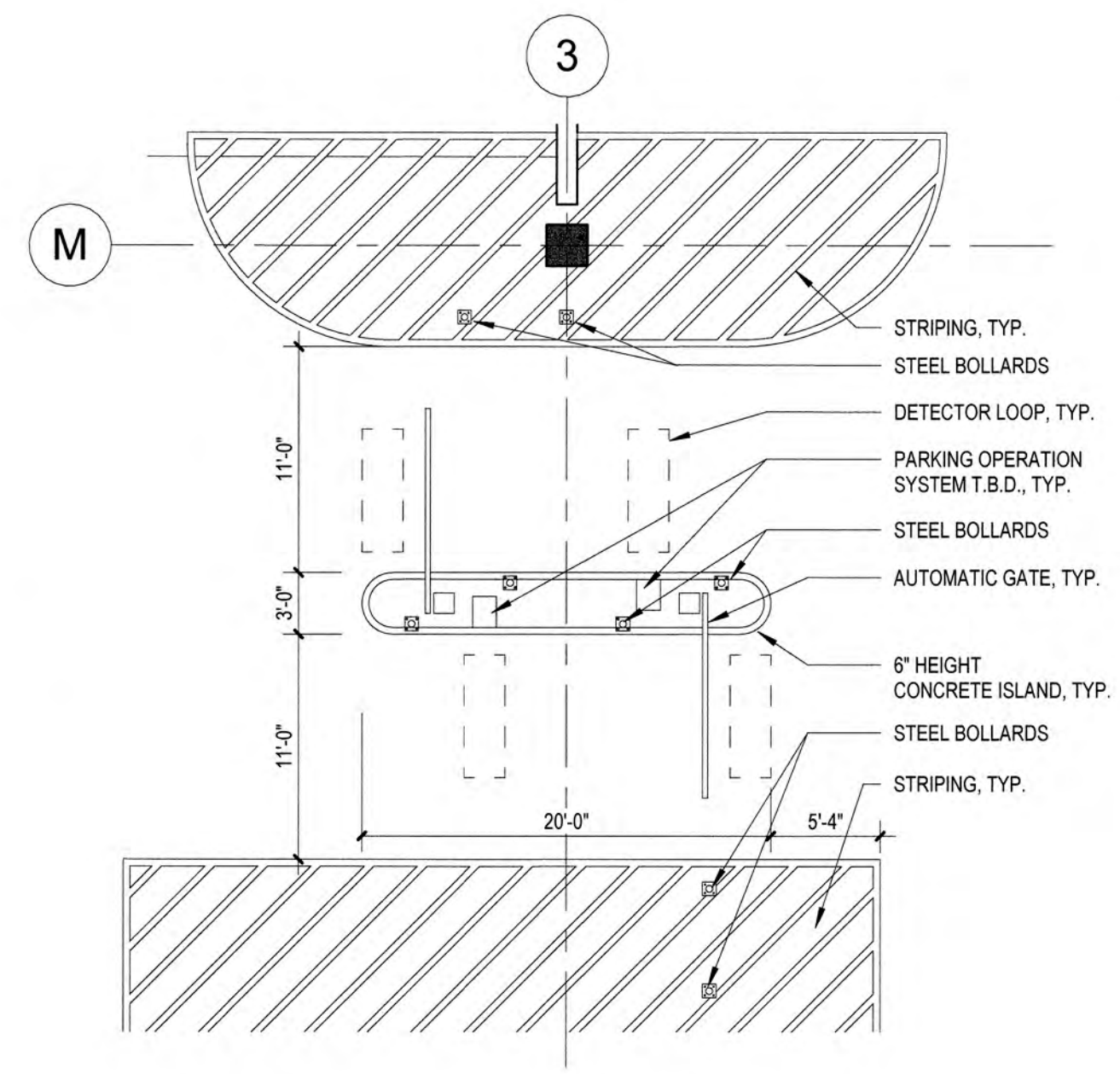
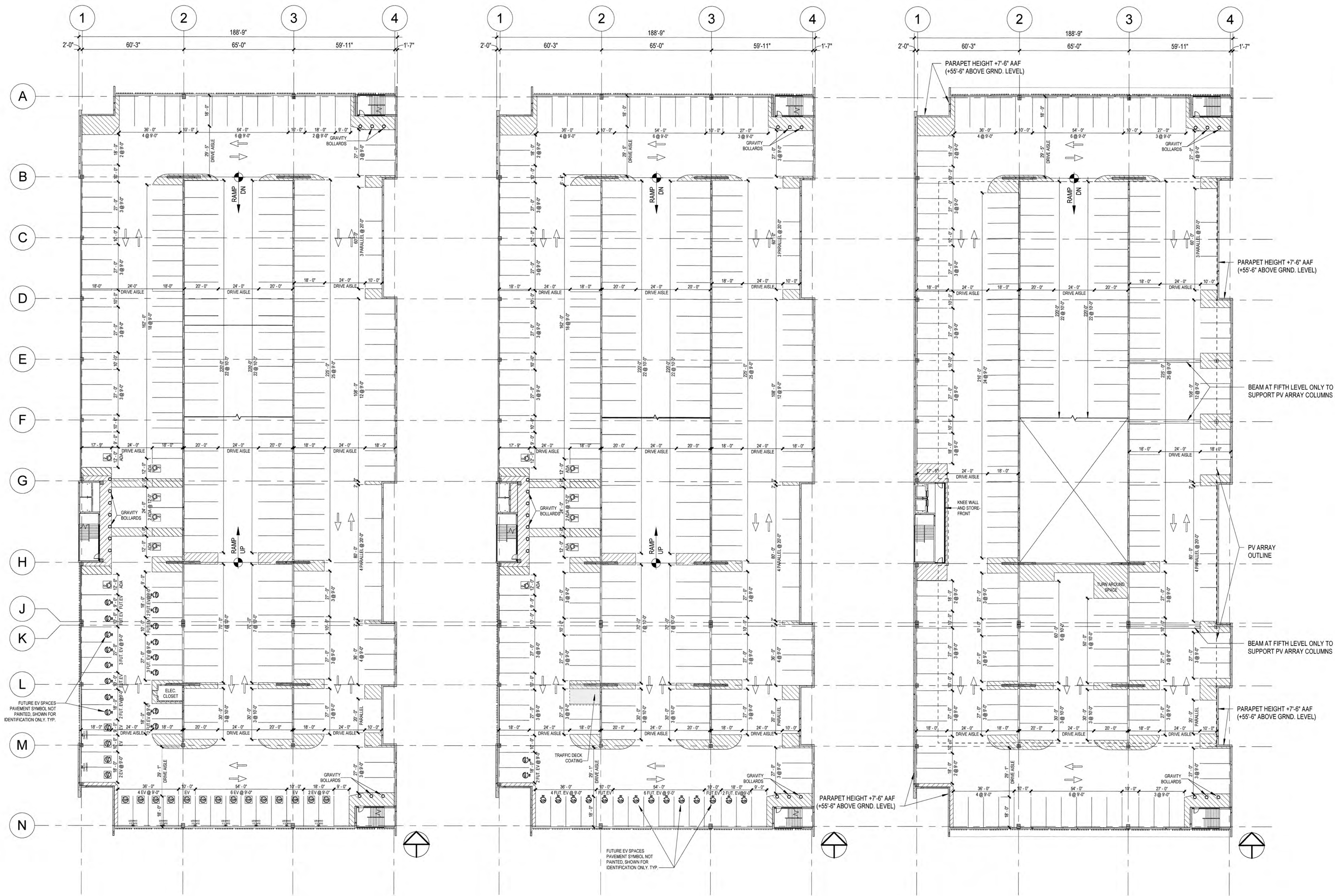
FIRST AND SECOND LEVEL GARAGE PLANS



DATE: 07/19/24

DRAWING NO: PK-101

PROJECT NO: MIA22105.00



4 ACCESS CONTROL ARM-GATE
PK-102
1/8" = 1'-0"

PLAN LEGEND	
	STEEL BOLLARD
	CONCRETE BOLLARD
	ELECTRIC PARKING SPACE
	ACCESSIBLE PARKING SPACE
	4" WIDE STRIPES PAINTED @ 1'-6" O.C.
	PAINTED FLOOR ARROW

1 THIRD LEVEL ARCHITECTURAL PLAN
PK-102
1" = 30'-0"

2 FOURTH LEVEL ARCHITECTURAL PLAN
PK-102
1" = 30'-0"

3 TOP LEVEL ARCHITECTURAL PLAN
PK-102
1" = 30'-0"

LEAVE BLANK - FOR CITY USE ONLY

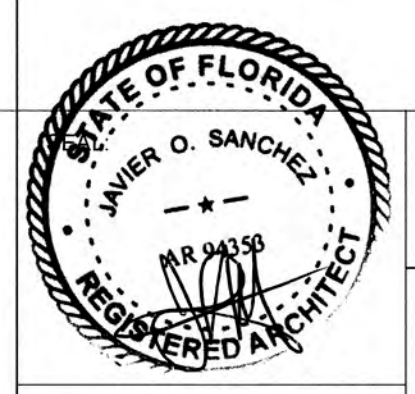
No.	REVISIONS	DATE	BY

SCALE:
As indicated
DESIGNED BY:
Designer
DRAWN BY:
Author
CHECKED BY:
Checker

THA
THA CONSULTING
40 NW 3rd Street, Suite 1102,
Miami, Florida 33128

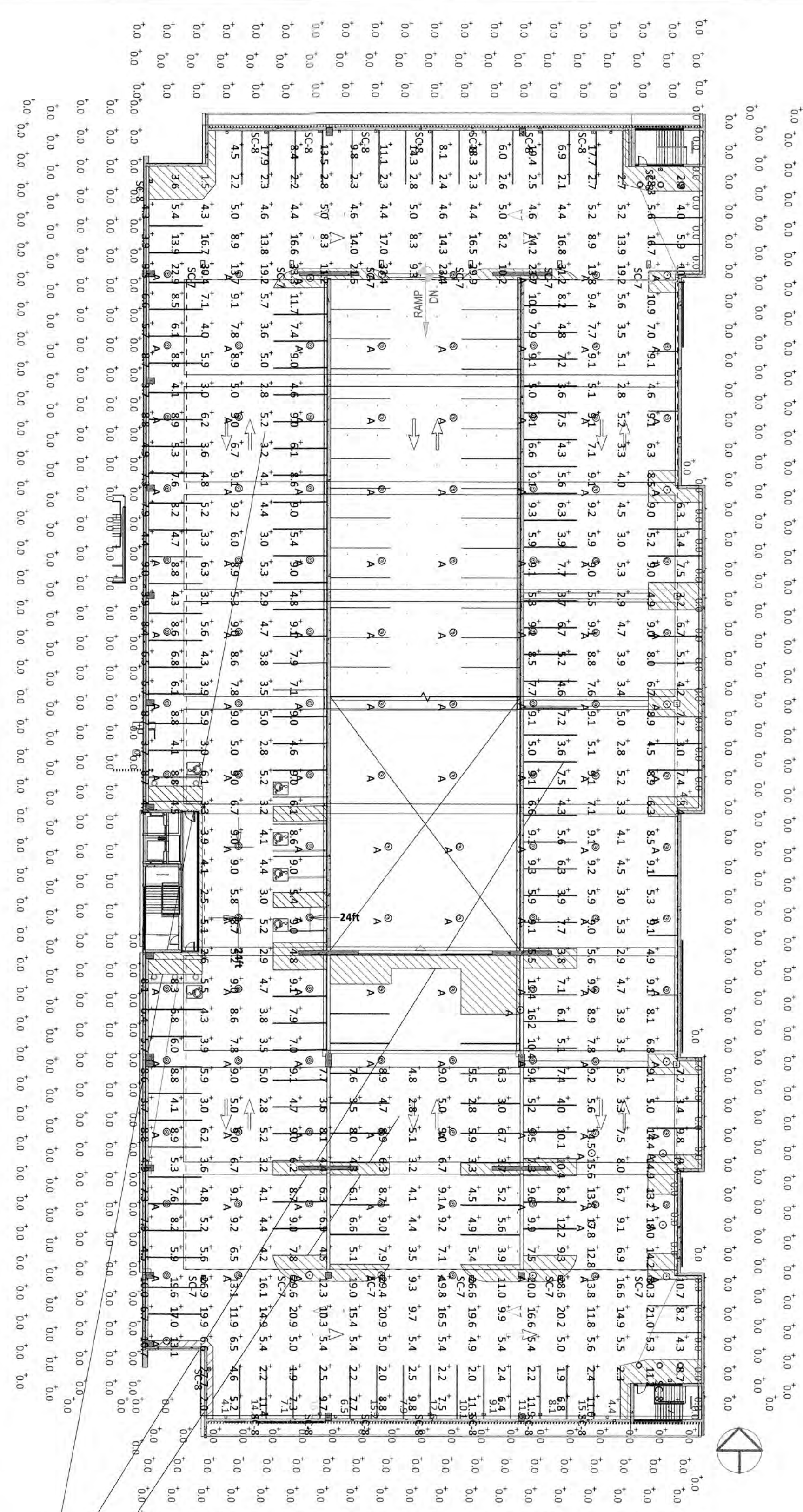
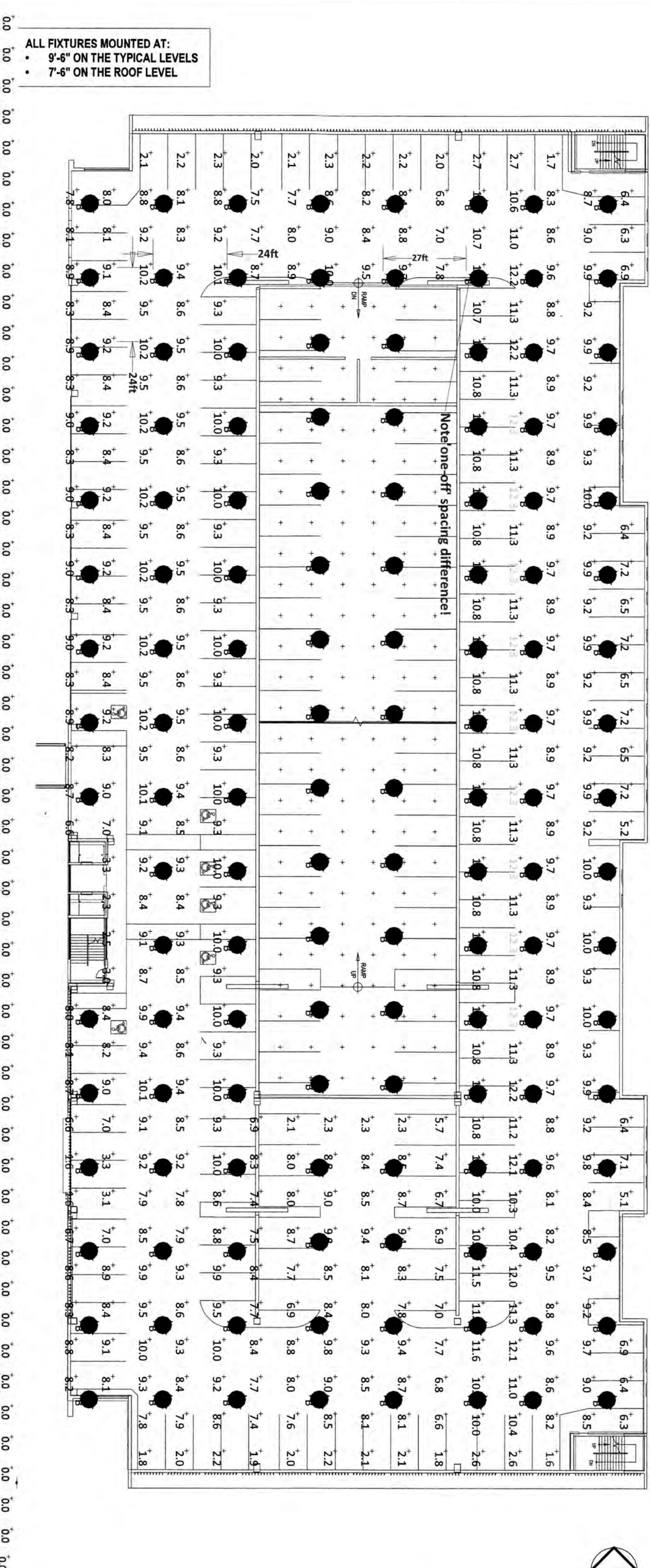
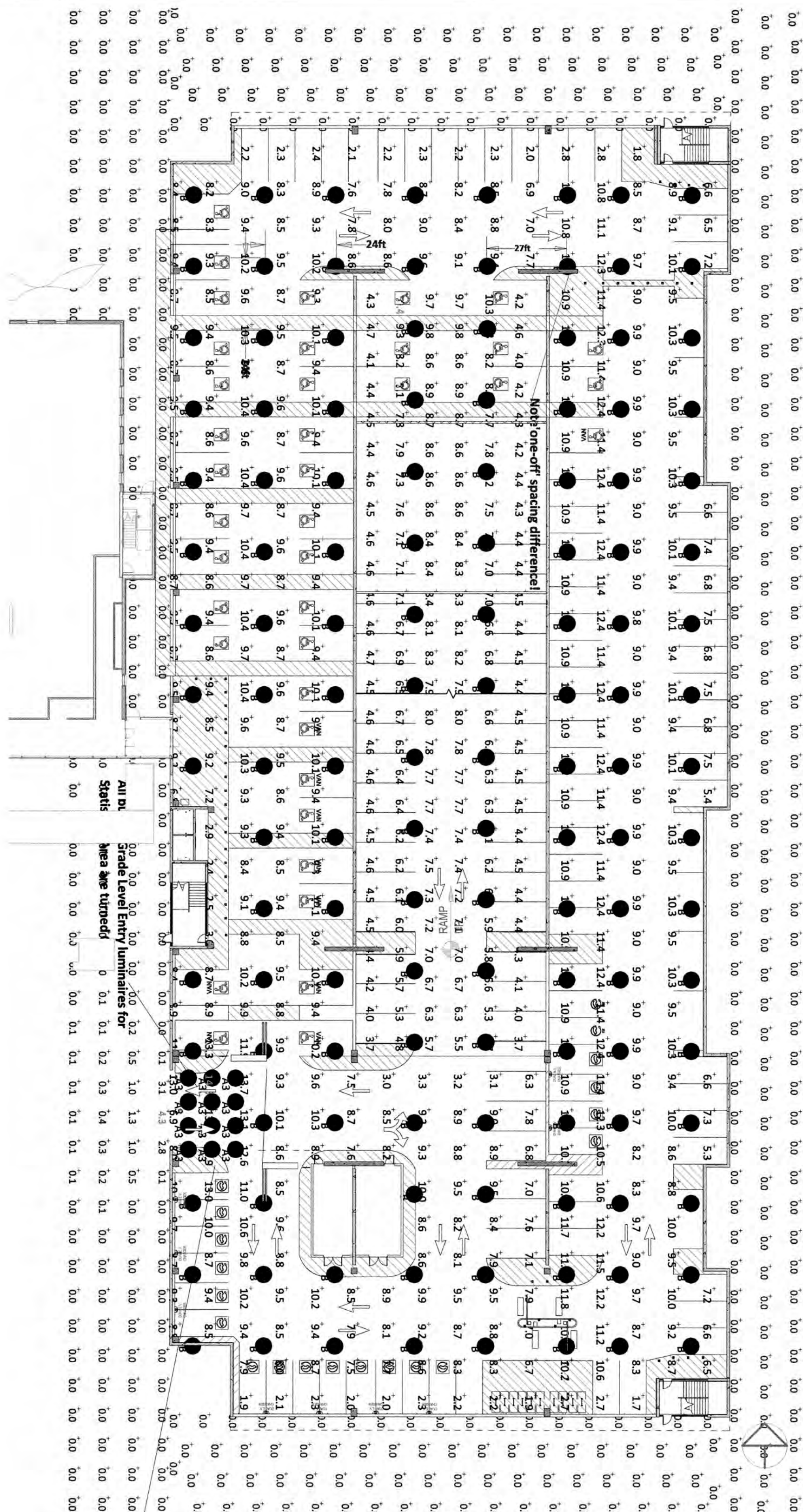
BHSF GARAGE
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

**THIRD, FOURTH, AND
TOP (ROOF) LEVEL
GARAGE PLANS**



PROJECT NO.
MIA22105.00

DATE:
07/19/24
DRAWING NO.
PK-102



Parking Garage (A)

Optec LED Lighting's OLPG1 Series Garage Light is a stylish, low-profile luminaire designed optically for lighting parking garages. Excellent optical performance is achieved via edge lighting and delivered through a UV-stabilized, specially-designed lens. LED life is enhanced through efficient thermal coupling and dissipation through its durable pressure die-cast, low copper alloy aluminum housing, OLPG1, engineered to last using high-performance gaskets, coatings, and proven-sealing techniques make it ideal for all weather conditions. The OLPG1 Garage Luminaire is available with several options including alternate CCT choices, multiple finishes, occupancy sensors and other accessories. Tooled, die-cast and completely assembled in the USA.

LED FULL CUT-OFF WALL PACK DWP2-4G (SC-08)

CONFIGURATIONS

Series	LED	SETTING	AC INPUT	Lumen Output (3000/4000/5000K)	Lumen Efficiency (3000/4000/5000K)
DWP2-4G	3SL	100%	45W	6500lm / 7000lm / 6750lm	144 / 156 / 150 lm/w
		80%	36W	5300lm / 5700lm / 5500lm	147 / 156 / 153 lm/w
		60%	27W	4050lm / 4400lm / 4200lm	150 / 163 / 156 lm/w
	3SH	100%	18W	2750lm / 3000lm / 2900lm	153 / 167 / 161 lm/w
		80%	9W	1380lm / 1500lm / 14300lm	145 / 158 / 151 lm/w
		60%	7W	11300lm / 12300lm / 11700lm	149 / 162 / 154 lm/w
		40%	57W	8700lm / 9400lm / 8800lm	153 / 165 / 156 lm/w
		40%	38W	5900lm / 6400lm / 6000lm	155 / 168 / 158 lm/w

Electrical Output for 50A Station

Electrical Output	Single Port (AC Voltage 208 / 240V AC)	Dual Port (AC Voltage 208 / 240V AC)
Maximum 50A (Standard)	12.0 kW (240V AC @ 50A)	12.0 kW (240V AC @ 50A)
Maximum 50A (Power Share)	N/A	12.0 kW (240V AC @ 50A) x 1 or 6.0 kW (240V AC @ 25A) x 2
Power Select 16A - 48A (Standard)	3.8 kW - 11.5 kW (240V AC @ 16A - 48A)	3.8 kW - 11.5 kW (240V AC @ 16A - 48A) x 1 or 1.9 kW - 5.8 kW (240V AC @ 8A - 24A) x 2

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Down Ramp_Side_1	Illuminance	Fc	4.57	33.8	1.6	2.86	20.50
Ground Level Footprint_Floor	Illuminance	Fc	28.8	19.8	1.4	4.4	30.30
Ground Level UP Ramp_Side_3_1	Illuminance	Fc	6.50	20.7	2.7	2.33	7.67

2 GROUND LEVEL LIGHTING - ENTRY AREA LUMINAIRES TURNED OFF
1" = 30'-0"

GROUND LEVEL NIGHTTIME RESULTS (with revised 12' ceiling height) including UP RAMP values to 2nd Level (n Blue). 2ND Level luminaires included in qty totals.

Ground Level Entry Illuminance at grade
Illuminance (Fc)
Average = 11.78

Maximum = 14.6
Minimum = 6.9
Avg/Min Ratio = 1.71
Max/Min Ratio = 2.12

Label	Qty	Watts	Lumens	Footcandle
Optec LED # OLPG1-027-UNV-40-80-TSM-POX	57	486	7188	10666934CH-038 (CONVERTED)
Optec LED # OLPG1-048-UNV-40-80-TSM-POX	48	1152	6064	10666934CH-038 (CONVERTED)

NOTE! Luminaire quantity total may include some Ground Level placements! For design purposes only. All fixture qty's must be confirmed. NOTE! Qty's include Level 2 luminaires!

6 GROUND LEVEL LIGHTING - ENTRY AREA LUMINAIRES TURNED OFF
1" = 30'-0"

2ND LEVEL RESULTS (with revised 12' ceiling height) including UP RAMP values to 2nd Level (n Blue). GROUND Level luminaires included in qty totals.

Rooftop Values under Solar Grid FC at grade
Illuminance (Fc)
Maximum = 18.0
Minimum = 2.5
Avg/Min Ratio = 2.66
Max/Min Ratio = 7.20

Label	Qty	Watts	Lumens	Footcandle
Optec LED # OLPG1-048-UNV-40-80-TSM-POX	1170	6064	10666934CH-038 (CONVERTED)	
Optec LED # OLPG1-027-UNV-40-80-TSM-POX	18	178.88	2237.84	10666934CH-038 (CONVERTED)

NOTE! Luminaire quantity total may include some Ground Level placements! For design purposes only. All fixture qty's must be confirmed. NOTE! Qty's include Level 2 luminaires!

7 TYPICAL AND TOP TIER (ROOF LEVEL) LIGHTING PLAN
1" = 30'-0"

Rooftop results with illuminance values at grade, perimeter luminaires (Type SC-8) are mounted at 6.83' AFF. Highlighted values represent Maximum and minimum values.

Label	Qty	Watts	Lumens	Footcandle
Optec LED # OLPG1-032-UNV-40-80-TSM-POX	32	3300	3997	10666934CH-036
Optec LED # OLPG1-180-UNV-40-80-TSM-POX	18	178.88	2237.84	10666934CH-038 (CONVERTED)

NOTE! For design purposes only. All fixture qty's must be confirmed.

SCALE: As Indicated

DESIGNED BY: Designer

DRAWN BY: Author

CHECKED BY: Checker

No.	REVISIONS	DATE	BY

THA CONSULTING

40 NW 3rd Street, Suite 1102,
Miami, Florida 33128

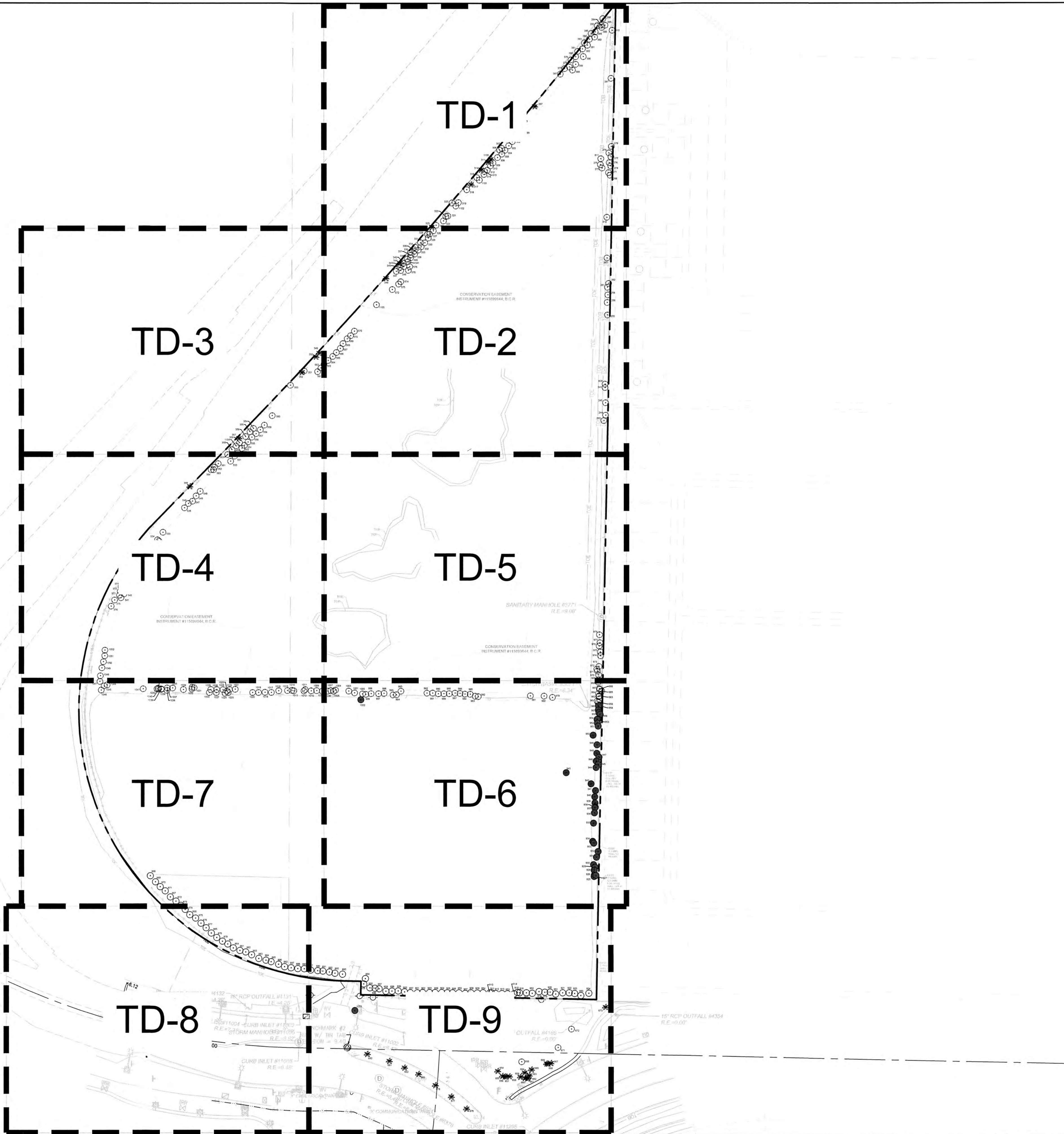
BHSF GARAGE
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

GARAGE LIGHTING PLANS

DATE: 07/19/24

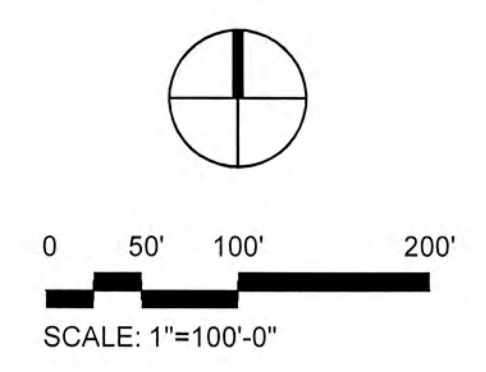
DRAWING NO. PK-103

PROJECT: MIA22105.00



LEAD DESIGN
LANDSCAPE ARCHITECT:
SWA/Balsley
31 West 27th Street
New York, NY
10001-6914
United States
www.swabalsley.com
+1 212 694 9230

LEAVE BLANK - FOR CITY USE ONLY



No.	REVISIONS	DATE	BY

SCALE:
1" = 100'-0"
DESIGNED BY:
SWP
DRAWN BY:
SWP
CHECKED BY:
JDH

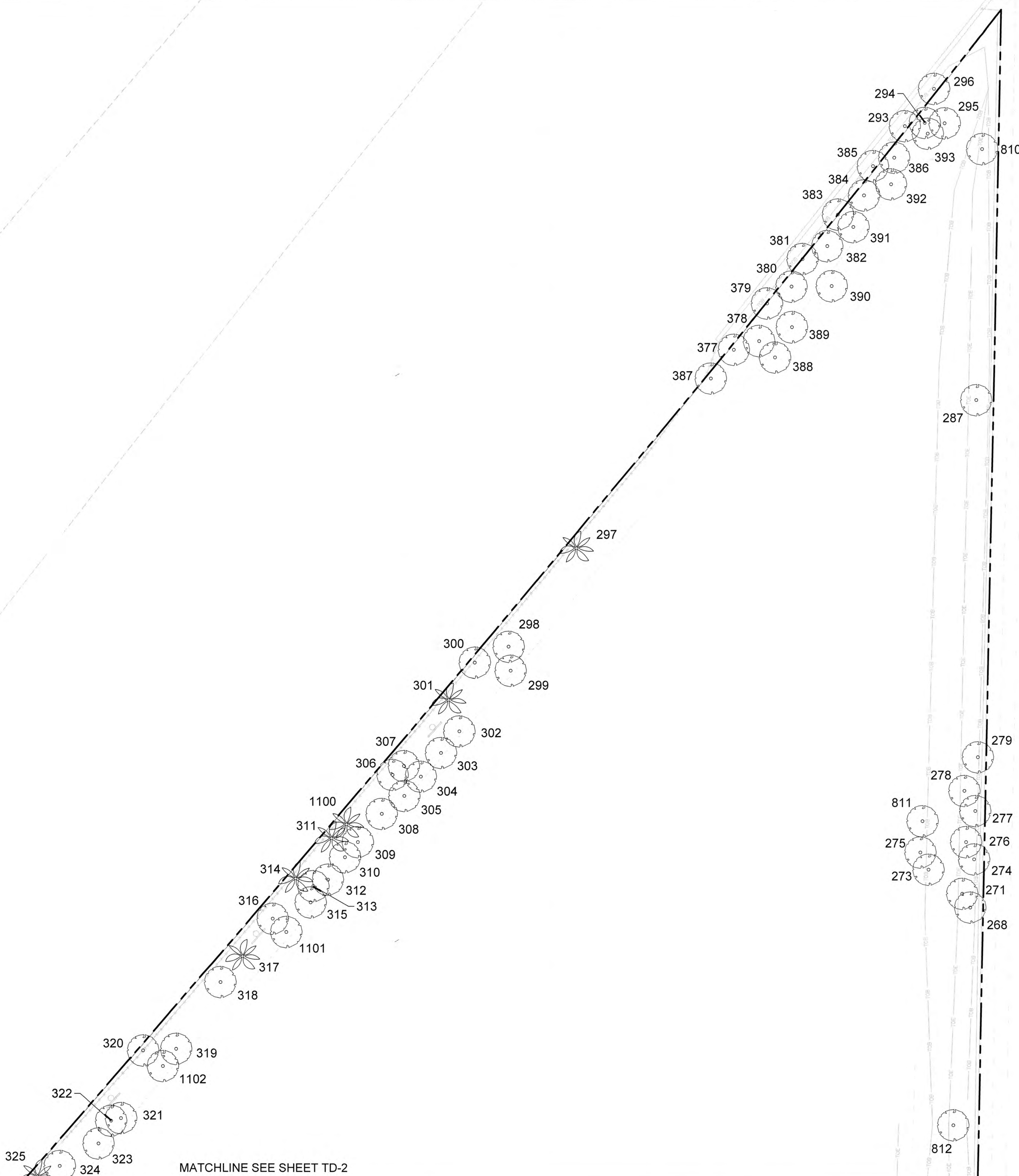
Craven Thompson and Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
3583 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
FAX: (954) 739-6409 TEL: (954) 739-6400
FLORIDA LICENSED ENGINEER, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114
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BAPTIST HEALTH SUNRISE HOSPITAL
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

TREE DISPOSITION KEY MAP

REGISTERED LANDSCAPE ARCHITECT
SCOTT WADE PEAVLER
LA 6656976
Scott W. Peavler
Florida R.L.A.# 6656976
July 18, 2024
PROJECT: TD-0

DATE:
07/19/2024
DRAWING NO.
TD-0
PROJECT:
99-0039-002-01



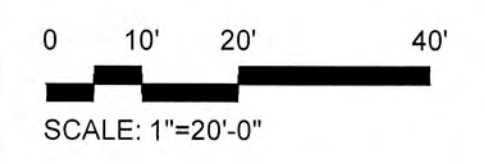
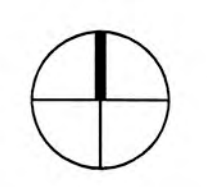
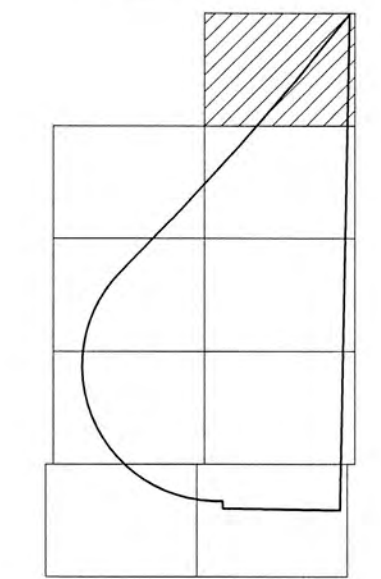
LEGEND

- TREES/ PALMS TO REMAIN
- XX TREES/ PALMS TO BE REMOVED
- XX TREES/ PALMS TO BE RELOCATED

NOTE:
 1. STUMPS OF ANY EXISTING TREES THAT HAVE BEEN REMOVED SHALL BE GRINDED DOWN TO 2" BELOW GRADE AND BACKFILLED. STUMP AND ROOT BALLS MUST NOT BE REMOVED DUE TO THE POTENTIAL OF DAMAGING EXISTING UTILITY LINES.

LEAD DESIGN
 LANDSCAPE ARCHITECT:
swa/balsley
 31 West 27th Street
 New York, NY
 10001-6914
 United States
 www.swabalsley.com
 +1.212.694.9230

KEY MAP



SCALE: 1"=20'-0"

LEAVE BLANK - FOR CITY USE ONLY

MATCHLINE SEE SHEET TD-2

No.	REVISIONS	DATE	BY

SCALE:
1" = 20'-0"

DESIGNED BY: SWP

DRAWN BY: SWP

CHECKED BY: JDH

Craven Thompson and Associates, Inc.
 ENGINEERS • PLANNERS • SURVEYORS
 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
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 12401 WEST OAKLAND PARK BOULEVARD
 SUNRISE, FLORIDA

TREE DISPOSITION PLAN

DATE: 07/19/2024

DRAWING NO. TD-1

PROJECT NO. 99-0039-002-01